



**US Army Corps
of Engineers.**
Philadelphia District
Wanamaker Building
100 Penn Square East
Philadelphia, PA 19107-3390
ATTN: CENAP-OP-R

Public Notice

Public Notice No.	Date
CENAP-OP-R-200600800-1	AUG 15 2006
Application No.	File No.

In Reply Refer to:
Regulatory Branch

This District has received an application for a Department of the Army permit pursuant to Section 10 of the Rivers and Harbors Act of 1899 (33 U.S.C. 403) and Section 404 of the Clean Water Act (33 U.S.C. 1344).

The purpose of this notice is to solicit comments and recommendations from the public concerning issuance of a Department of the Army permit for the work described below.

APPLICANT: Portside Residences - Pier 28, L.P.

AGENT: Marathon Engineering and Environmental Services, Inc.
510 Heron Drive Suite 100
Swedesboro, NJ 08085

WATERWAY: Delaware River

LOCATION: The project site is located in the Delaware River adjacent to Pier 28 along Christopher Columbus Boulevard (formerly known as Delaware Avenue) in the City of Philadelphia, Philadelphia County, Pennsylvania.

ACTIVITY: The applicant proposes to construct a thirty-eight (38) story apartment building within a "footprint" adjacent to and slightly over-lapping the existing remains of Pier 28 in the Delaware River. The proposed building would have 240 residential apartment units on thirty occupied levels. The lower six levels would serve as parking decks with one ground floor and one transition floor. The total building height would be four hundred and thirty (430) feet.

The existing condition at Pier 28 consists of deteriorating wood piles (approx. 1230 in number) in a rectangular array 120 feet wide and extending 547 feet waterward of the existing bulkhead (to the old pierhead line and limit of the Delaware River Federal Navigation Channel). This encompasses an area of shallow subtidal open water in the Delaware River measuring approximately 1.51 acres. The wood piles extend above the mean high water elevation in the river. The tidal range at Pier 28 is approximately 6 feet and the existing depths in the river range between approximately 1 foot at low tide and 7 feet at high tide. There is no deck structure on the existing piles. The original

Pier 28 structure, of which only the wood piles remain, was constructed by the City of Philadelphia as a shipping pier in the nineteen-twenties. The original structure was abandoned and demolished and the deck structure removed in the nineteen-eighties.

The shadow/footprint of the proposed building would cover approximately 1.52 acres of shallow open water. The proposed building would be supported on new concrete-capped clusters of concrete-filled 20-inch diameter steel pipe piles. The proposed pier structure would require a total of 690 new pilings within the 1.52 acre footprint of the proposed building. The applicant proposes to remove all of the old Pier 28 wood piling structures by cutting the structures below the existing mud line.

A total of 690 new steel pipe piles would be installed in the river bed for the proposed building. The concrete filling in each of the proposed steel pipe piles would result in a "filled" footprint under each pile in the riverbed of approximately 2.18 square feet. The total footprint area on the riverbed of the poured concrete in all of the proposed new pipe piles would be approximately 1,504 square feet.

A similar project was previously advertised by this office in public notice CENAP-OP-R-200401197-15, dated March 8, 2005. However, that application provided for a 16-story residential structure. Additional information on the current application is shown on the attached plans.

PURPOSE: The purpose of the proposed project is to provide residences on the Delaware River as part of the redevelopment of the Penns Landing waterfront area.

Our review of this application to date indicates that the proposed work would not affect listed species or their critical habitat pursuant to Section 7 of the Endangered Species Act as amended. As the evaluation of this application continues, additional information may become available which could modify this preliminary determination.

The decision whether to issue a permit will be based on an evaluation of the activity's probable impact including its cumulative impacts on the public interest. The decision will reflect the national concern for both protection and utilization of important resources. The benefits which reasonably may be expected to accrue from the work must be balanced against its reasonably foreseeable detriments. All factors which may be relevant to the work will be considered including the cumulative effects thereof; among those are conservation, economics,

aesthetics, general environmental concerns, wetlands, cultural values, fish and wildlife values, flood hazards, flood plain values, land use, navigation, shore erosion and accretion, recreation, water supply and conservation, water quality, energy needs, safety, food and fiber production, mineral needs and welfare of the people. This review would also include a consideration as to whether compensatory mitigation would be necessary to offset any identifiable adverse impacts on aquatic resources. A Department of the Army permit will be granted unless the District Engineer determines that it would be contrary to the public interest.

The Corps of Engineers is soliciting comments from the public; Federal, State, and local agencies and officials; Indian Tribes; and other interested parties in order to consider and evaluate the impacts of this proposed activity. Any comments received will be considered by the Corps of Engineers to determine whether to issue, modify, condition or deny a permit for this proposal. To make this decision, comments are used to assess impacts on endangered species, historic properties, water quality, general environmental effects, and the other public interest factors listed above. Comments are used in the preparation of an Environmental Assessment and/or an Environmental Impact Statement pursuant to the National Environmental Policy Act. Comments are also used to determine the need for a public hearing and to determine the overall public interest of the proposed activity.

Comments on the proposed work should be submitted, in writing, within 30 days to the District Engineer, U.S. Army Corps of Engineers, Philadelphia District, Wanamaker Building, 100 Penn Square East, Philadelphia, Pennsylvania 19107-3390.

Review of the National Register of Historic Places indicates that no registered properties or properties listed as eligible for inclusion therein are located within the permit area of the work.

The Magnuson-Stevens Fishery Conservation and Management Act, as amended by the Sustainable Fisheries Act 1996 (Public Law 104-267), requires all Federal agencies to consult with the National Marine Fisheries Service on all actions, or proposed actions, permitted, funded, or undertaken by the agency that may adversely effect Essential Fish Habitat (EFH). A review of the species and maps listed in the "Guide to Essential Fish Habitat Designations in the Northeastern United States, Volume IV: New Jersey and Delaware", dated March 1999, indicates that there is no Essential Fish Habitat in the vicinity of the project, and as such, the proposed project would have no effect on any EFH resources.

In accordance with Section 307(c) of the Coastal Zone Management Act of 1972, applicants for Federal Licenses or Permits to conduct an activity affecting land or water uses in a State's coastal zone must provide certification that the activity complies with the State's Coastal Zone Management Program. The applicant has stated that the proposed activity complies with and will be conducted in a manner that is consistent with the approved State Coastal Zone Management (CZM) Program. Further, in a letter dated June 6, 2005, the Pennsylvania Department of Environmental Protection has concurred with the applicant's certification that the project is consistent with Pennsylvania's Coastal Zone Management Program.

In accordance with Section 401 of the Clean Water Act, a Water Quality Certificate (WQC) is necessary from the Pennsylvania Department of Environmental Protection. Any comments concerning the work described above which relate to Water Quality considerations should be sent to this office with a copy to the State. It is noted that the applicant has received the necessary Water Obstruction and Encroachment Permit (E51-211) from the Pennsylvania Department of Environmental Protection, which includes their WQC.

The evaluation of the impact of the work described above on the public interest will include application of the guidelines promulgated by the Administrator, U.S. Environmental Protection Agency, under authority of Section 404(b) of the Clean Water Act.

Any person may request, in writing, to the District Engineer, within the comment period specified in this notice, that a public hearing be held to consider this application. Requests for a public hearing shall state in writing, with particularity, the reasons for holding a public hearing.

Additional information concerning this permit application may be obtained by calling Mr. Edward Bonner at (215) 656-5932 between the hours of 1:00 and 3:30 p.m. or writing this office at the above address.



Frank J. Cianfrani
Chief, Regulatory Branch

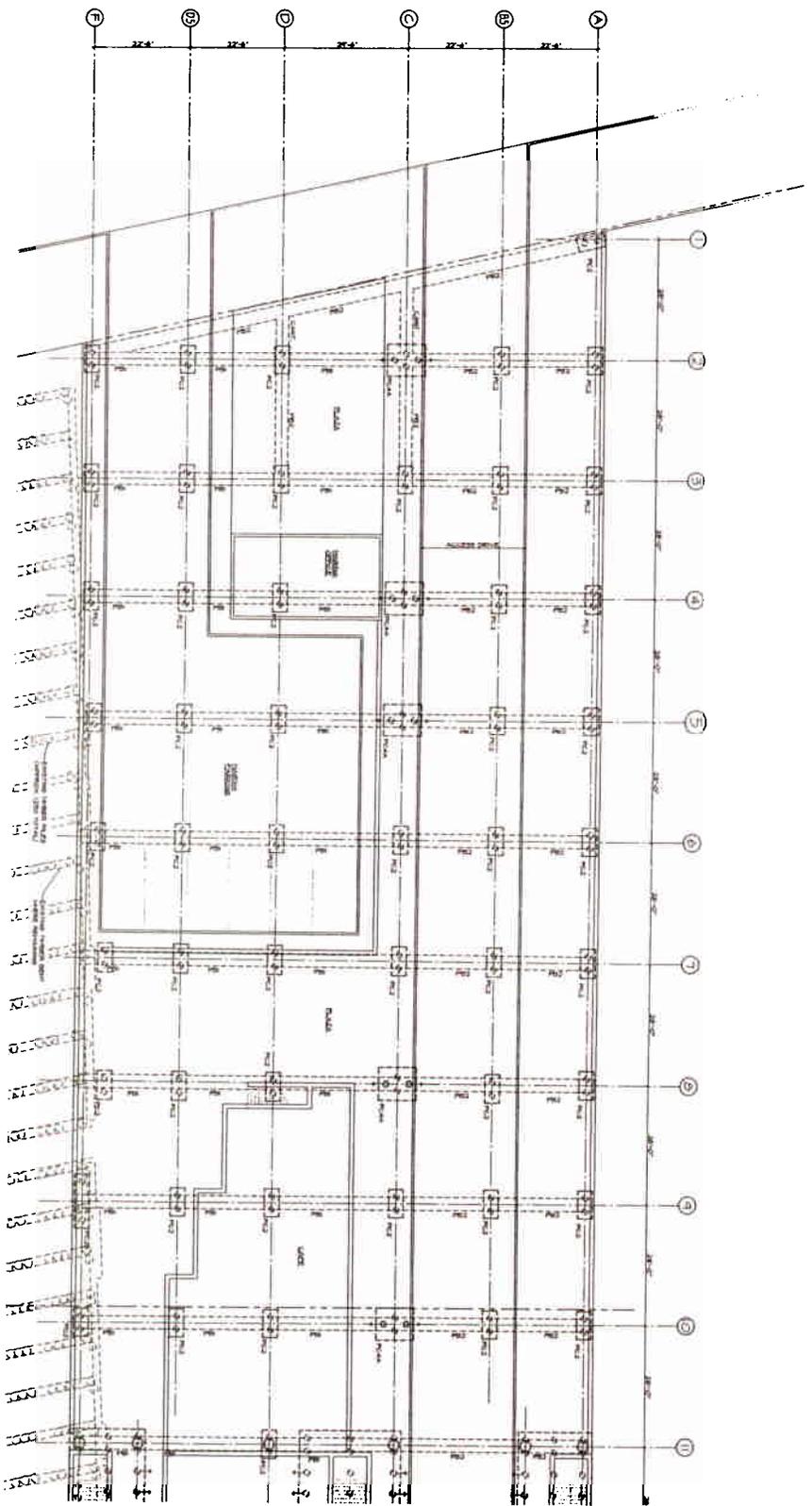


**MARATHON ENGINEERING &
ENVIRONMENTAL SERVICES, INC.**
SUITE 111
510 HERON DRIVE
SWEDESBORO N.J. 08085

**Portside Residences at
Pier 28**

City of Philadelphia,
Philadelphia Co., Pennsylvania

LOCATION MAP
Source:
USGS 7.5' Topographic Quadrangle
for Philadelphia, Pennsylvania
Scale: 1"=2,000' DEP 007.01



GROUND FLOOR FOUNDATION PLAN

1. THE FOUNDATION SHALL BE DESIGNED TO SUPPORT THE DEAD AND LIVE LOADS AS SHOWN ON THE ARCHITECTURAL DRAWINGS AND THE SEISMIC LOADS AS SHOWN ON THE SEISMIC ANALYSIS REPORT. THE FOUNDATION SHALL BE DESIGNED TO RESIST THE EFFECTS OF SOIL LATERAL MOVEMENT AND TO PROVIDE ADEQUATE DRAINAGE. THE FOUNDATION SHALL BE CONSTRUCTED OF CONCRETE AND REINFORCED WITH STEEL. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2000 INTERNATIONAL BUILDING CODE AND THE 2000 INTERNATIONAL GEOTECHNICAL ENGINEERING CODE. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2000 INTERNATIONAL GEOTECHNICAL ENGINEERING CODE. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2000 INTERNATIONAL GEOTECHNICAL ENGINEERING CODE.

LEGEND

○ PIER
 □ COLUMN FOOTING
 ▭ BEAM FOOTING
 ▨ WALL FOOTING

NUMBER OF PILES			
TYPE	SPACING	TOTAL	NO.

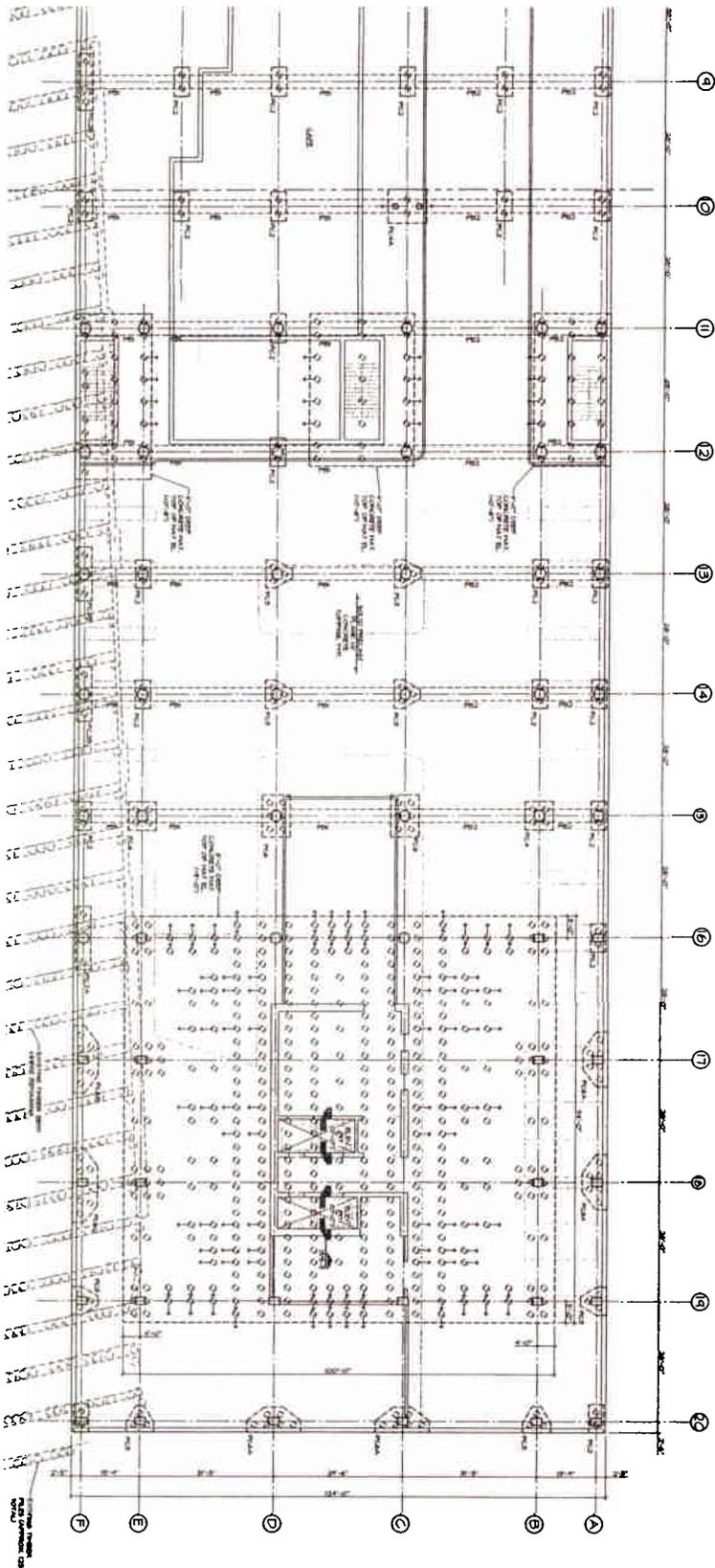


BRIDGEPOINTE
 RESIDENCES AT PIER 26
 DEPAUL GROUP

PROJECT NO. 17000
 DESIGN BY B.L.T.
 CHECKED BY B.L.T.
 DATE 08/11/06

BRIDGEPOINTE
 RESIDENCES AT PIER 26
 DEPAUL GROUP

BOWER LEWIS THROWER ARCHITECTS
 1000 N. W. 10th St., Suite 1000
 Fort Lauderdale, FL 33304
 Phone: (954) 575-1111
 Fax: (954) 575-1112
 www.bowlewis.com



GROUND FLOOR FOUNDATION PLAN

PLAN NOTES

1. ALL FOUNDATION ELEMENTS SHALL BE CONCRETE UNLESS OTHERWISE NOTED.
2. ALL FOUNDATION ELEMENTS SHALL BE CAST IN PLACE.
3. ALL FOUNDATION ELEMENTS SHALL BE CAST ON A 4" MINIMUM THICKNESS OF COMPACTED GRAVEL OR SAND.
4. ALL FOUNDATION ELEMENTS SHALL BE CAST WITH A MINIMUM 3" CLEARANCE FROM ALL ADJACENT STRUCTURES.
5. ALL FOUNDATION ELEMENTS SHALL BE CAST WITH A MINIMUM 2" CLEARANCE FROM ALL ADJACENT STRUCTURES.
6. ALL FOUNDATION ELEMENTS SHALL BE CAST WITH A MINIMUM 1" CLEARANCE FROM ALL ADJACENT STRUCTURES.
7. ALL FOUNDATION ELEMENTS SHALL BE CAST WITH A MINIMUM 1/2" CLEARANCE FROM ALL ADJACENT STRUCTURES.
8. ALL FOUNDATION ELEMENTS SHALL BE CAST WITH A MINIMUM 1/4" CLEARANCE FROM ALL ADJACENT STRUCTURES.
9. ALL FOUNDATION ELEMENTS SHALL BE CAST WITH A MINIMUM 1/8" CLEARANCE FROM ALL ADJACENT STRUCTURES.
10. ALL FOUNDATION ELEMENTS SHALL BE CAST WITH A MINIMUM 1/16" CLEARANCE FROM ALL ADJACENT STRUCTURES.

LEGEND

○ FLOOR FINISH
 ○ CONCRETE FLOOR
 ○ CONCRETE BEAM
 ○ CONCRETE COLUMN

NUMBER OF PILES

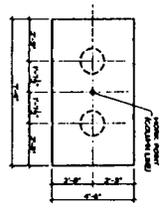
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400	400	400
500	500	500
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700	700	700
800	800	800
900	900	900
1000	1000	1000

7-3-06

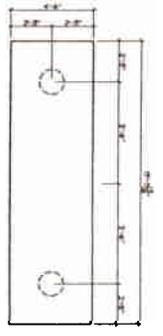
BRIDGEPOINT
 RESIDENCES AT PIER 28
 DEPAUL GROUP

ARCHITECTS

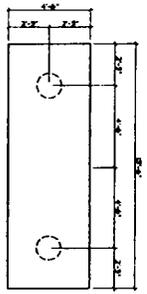
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 DRAWN BY: JHL
 CHECKED BY: JHL
 SCALE: AS SHOWN
 PROJECT: BRIDGEPOINT
 SHEET: S-2



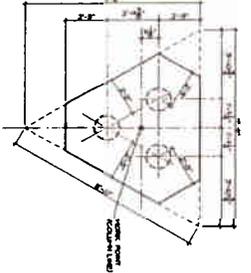
1 PILE CAP PC1
SCALE: 1/8" = 1'-0"



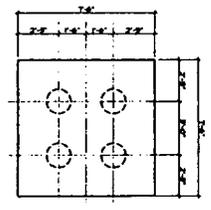
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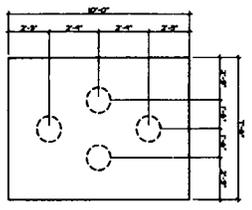
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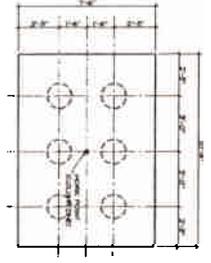
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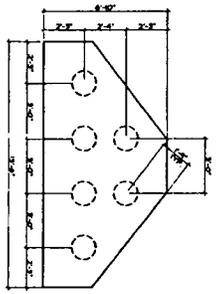
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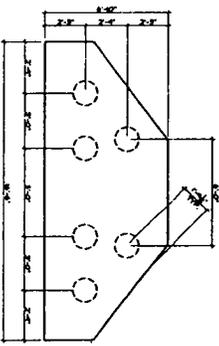
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SCALE: 1/8" = 1'-0"



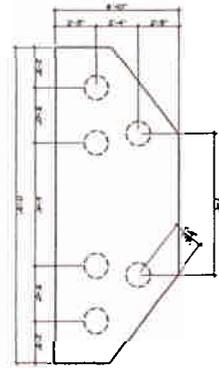
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SCALE: 1/8" = 1'-0"



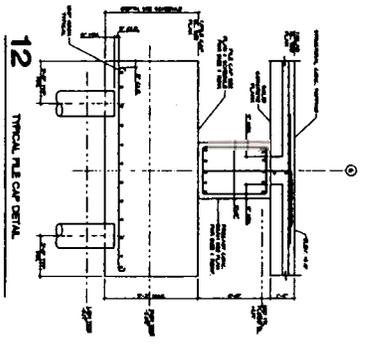
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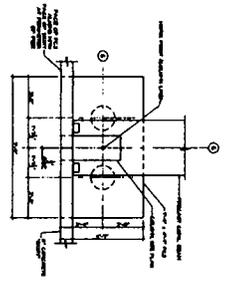
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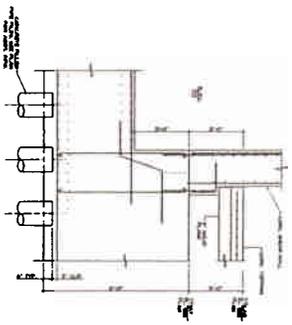
10 PILE CAP PC10
SCALE: 1/8" = 1'-0"



12 TYPICAL PILE CAP DETAIL

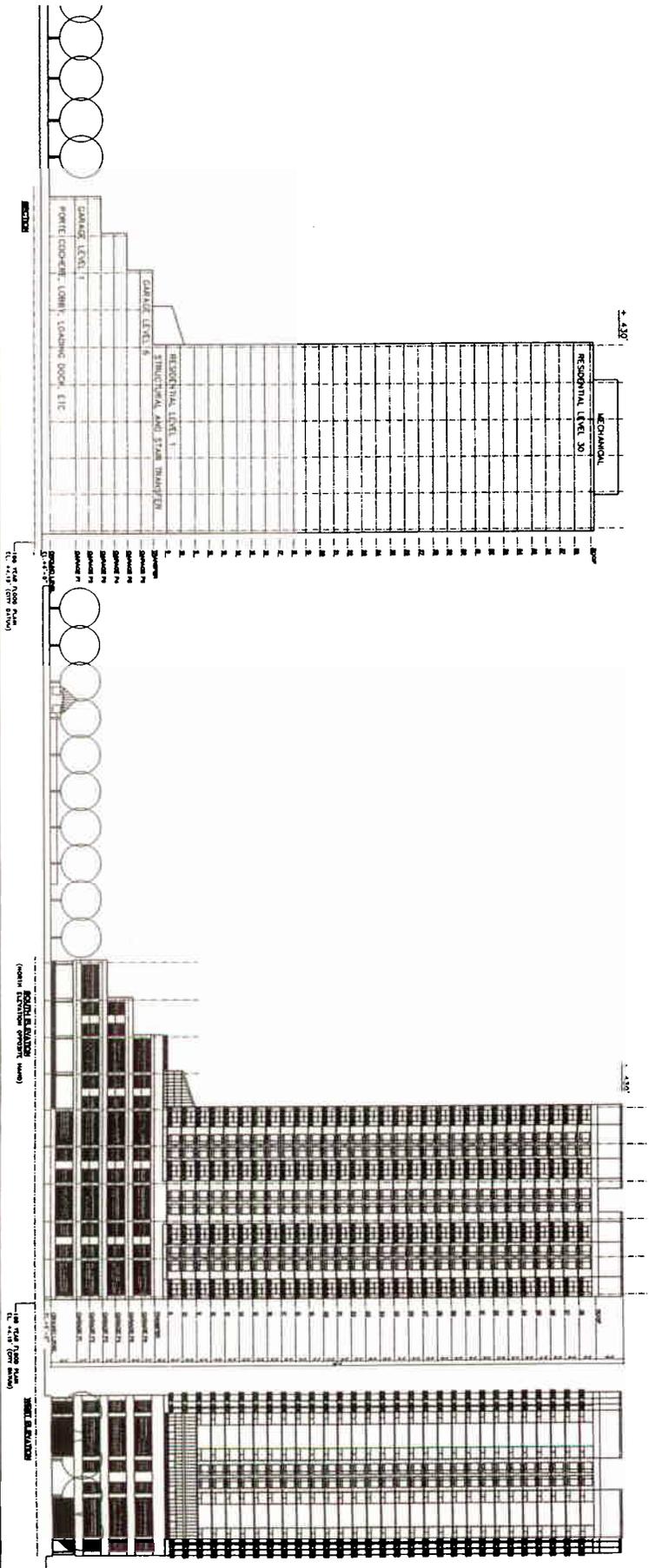


13



14

PILE CAP SCHEDULE			
NO.	DESCRIPTION	REMARKS	DATE
1	PILE CAP PC1		
2	PILE CAP PC2		
3	PILE CAP PC3		
4	PILE CAP PC4		
5	PILE CAP PC5		
6	PILE CAP PC6		
7	PILE CAP PC7		
8	PILE CAP PC8		
9	PILE CAP PC9		
10	PILE CAP PC10		
11	PILE CAP PC11		
12	PILE CAP PC12		
13	PILE CAP PC13		
14	PILE CAP PC14		



BRIDGEPOINTE
RESIDENCES AT PIER 28
THE DEPAUL GROUP

BUILDING ELEVATIONS & SECTION | **A201**