

PUBLIC NOTICE

REQUEST FOR PERMISSION TO ALTER A U.S. ARMY CORPS OF ENGINEERS PROJECT UNDER SECTION 408

TITLE: Inlet Community Development Corporation – Oscar McClinton Jr. Waterfront Park Beach Improvement Project sited at the Absecon Inlet Bulkhead Portion of the Absecon Island Coastal Storm Risk Management Federal Civil Works Project in the City of Atlantic City, Atlantic County, New Jersey

PUBLIC NOTICE IDENTIFICATION NUMBER: 408-NAP-2024-0016

PUBLIC NOTICE COMMENT PERIOD:

Begins: **07 January 2025**

Expires: **06 February 2025**

Interested parties are hereby notified that an application has been received for a Department of the Army Section 408 permission for certain work at or near a federal project of the United States, as described below and shown on attached figures. Written comments are being solicited from anyone having an interest in the requested alteration. Comments will become part of the U.S. Army Corps of Engineers' (USACE's) administrative record and will be considered in determining whether to approve the request. Comments supporting, opposing, or identifying concerns that should be considered by the USACE in its decision process are all welcome.

This public notice is not a paid advertisement and is for public information only. Issuance of this notice does not imply USACE endorsement of the project as described.

1. REQUESTOR: In compliance with 33 USC 408 (Section 14 of the Rivers and Harbors Act of 1899; hereinafter Section 408), Inlet Community Development Corporation has requested permission to construct improvements at the Oscar McClinton Jr. Waterfront Park, a portion of which is sited within the footprint of the Absecon Inlet bulkhead frontage portion of the Absecon Island Coastal Storm Risk Management Federal Civil Works Project.

2. LOCATION: The proposed project is sited in uplands within the footprint of the Absecon Inlet bulkhead frontage portion of the Absecon Island Coastal Storm Risk Management Federal Civil Works Project at the Oscar McClinton Jr. Waterfront Park at 201 North New Hampshire Avenue in the City of Atlantic City, Atlantic County, New Jersey; approximate center coordinates: 39.372165, -74.413802.

3. LOCATION MAP(S)/DRAWING(S): Please see attached Project Plan Sheets 1 through 4.

4. REQUESTOR'S PROPOSED ACTION: The proposed action entails construction of an access ramp structure, lifeguard stand/shed, shower station, and water service line within uplands within the footprint of the Absecon Inlet bulkhead frontage portion of the Absecon Island CSRM Federal Civil Works Project.

5. REGULATORY AUTHORITY: This request will be reviewed according to the provisions of Section 14 of the Rivers and Harbors Act of 1899 (33 U.S.C. 408). A requestor has the responsibility to acquire all other permissions or authorizations required by federal, state, and local laws or regulations, including any required permits from the USACE Regulatory Program under Section 10 of the Rivers and Harbors Act of 1899 (33 USC 403), Section 404 of the Clean Water Act (33 USC Section 1344) and/or Section 103 of the Marine Protection, Research and Sanctuaries Act of 1972 (33 USC 1413). Any Section 10/404/103 permit decision associated with the proposed alteration is separate from and will not be included in the Section 408 permission decision. An approval under Section 408 does not grant any property rights or exclusive privileges nor does it authorize any injury to the property or rights of others.

6. ENVIRONMENTAL COMPLIANCE: A decision on a Section 408 request is a federal action, and therefore subject to the National Environmental Policy Act (NEPA) and other environmental compliance requirements. While ensuring compliance is the responsibility of USACE, the requester is providing all information that the Philadelphia District identifies as necessary to satisfy all applicable federal laws, executive orders, regulations, policies, and ordinances. Based on information provided by the applicant to date, current Corps regulations governing NEPA implementation, and/or the contents of existing NEPA documentation if available, it is likely that the proposed action will be determined to be categorically excluded from the need to prepare an Environmental Assessment (EA) or Environmental Impact Statement (EIS). This determination will be finalized following completion of agency coordination and prior to issuance of the Section 408 Permission Decision.

7. EVALUATION: As part of its evaluation, USACE will first make a determination that the submittal from the requestor is complete. The Philadelphia District is working closely with the requestor to ensure that all required technical plans, maps, drawings, and specifications are provided and are complete. Once the package is complete, a District-led review will be conducted to determine, in accordance with Engineering Circular (EC) 1165-2-216, whether the proposed alteration will impair the usefulness of the USACE Project or be injurious to the public interest, as follows:

- A. *Impair the Usefulness of the Project Determination.* The Philadelphia District's Section 408 review team will determine if the proposed alteration will limit the ability of the federally authorized project to function as authorized, or will compromise or change any authorized project conditions, purposes or outputs.
- B. *Injurious to the Public Interest Determination.* Proposed alterations will be reviewed to determine the probable impacts, including cumulative impacts, on the public interest. Evaluation of the probable impacts that the proposed alteration to the USACE project may have on the public interest requires a careful weighing of all those factors that are relevant in each particular case. Factors that may be relevant

to the public interest depend upon the type of USACE project being altered and may include, but are not limited to, such things as conservation, economic development, historic properties, cultural resources, environmental impacts, water supply, water quality, flood hazards, floodplains, residual risk, induced damages, navigation, shore erosion or accretion, and recreation. The decision whether to approve an alteration will be determined by the consideration of whether benefits are commensurate with risks. If the potential detriments are found to outweigh the potential benefits, then it may be determined that the proposed alteration is injurious to the public interest.

8. SOLICITATION OF COMMENTS: The USACE is soliciting comments from the public; federal, state, and local agencies and officials; Indian Tribes; and other interested parties in order to consider and evaluate the impacts of the proposed activity. Any comments received will be considered by USACE to determine whether to issue, modify, condition, or deny a permission for this proposal. To make this decision, comments are used to assess impacts on endangered species, historic properties, water quality, general environmental effects, and other public interest factors listed above. Comments are considered in making a final determination whether the proposed action will be categorically excluded from the need to prepare further NEPA documentation. Comments are also used to determine the need for a public hearing and to determine the overall public interest of the proposed activity.

- A. It should be noted that materials submitted as part of the Section 408 request become part of the public record and are thus available to the general public under the procedures of the Freedom of Information Act (FOIA). Individuals may submit a written request to the Philadelphia District Corps of Engineers, Office of Counsel to obtain copies of said materials under the FOIA.
- B. It is presumed that all parties viewing this notice will wish to respond to this public notice; therefore, a lack of response will be interpreted as meaning that there is no objection to the project as described.

9. COMMENT SUBMISSION AND ADDITIONAL INFORMATION: Written comments on the described work should reference the USACE Public Notice Identification Number found on the first page of this notice. Comments must reach this office no later than the stated expiration date of the Public Notice to become part of the record and be considered in the decision. Comments or requests for additional information should be emailed or mailed to the following address:

Email: Bishel.Baby@usace.army.mil

Mailing Address:

U.S. Army Corps of Engineers

Philadelphia District

Attn: Bishel B. Baby

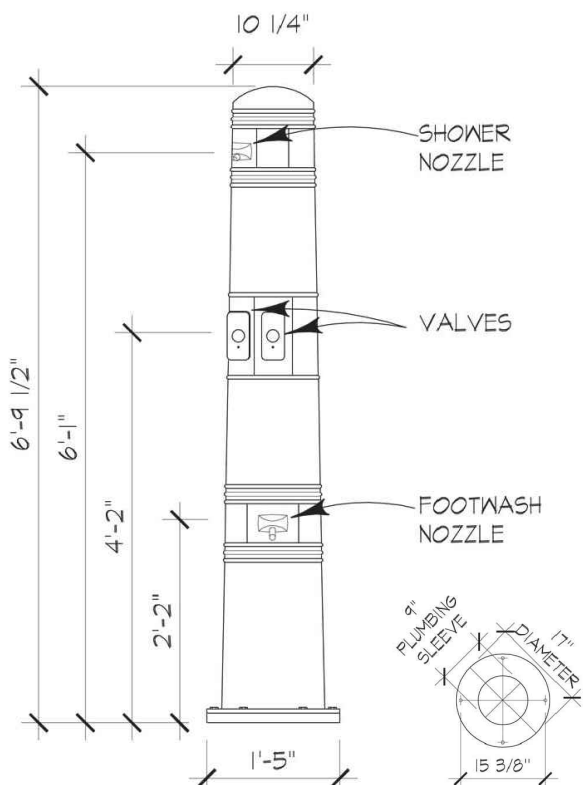
1650 Arch Street, 7th Floor

Philadelphia, PA 19103-2004

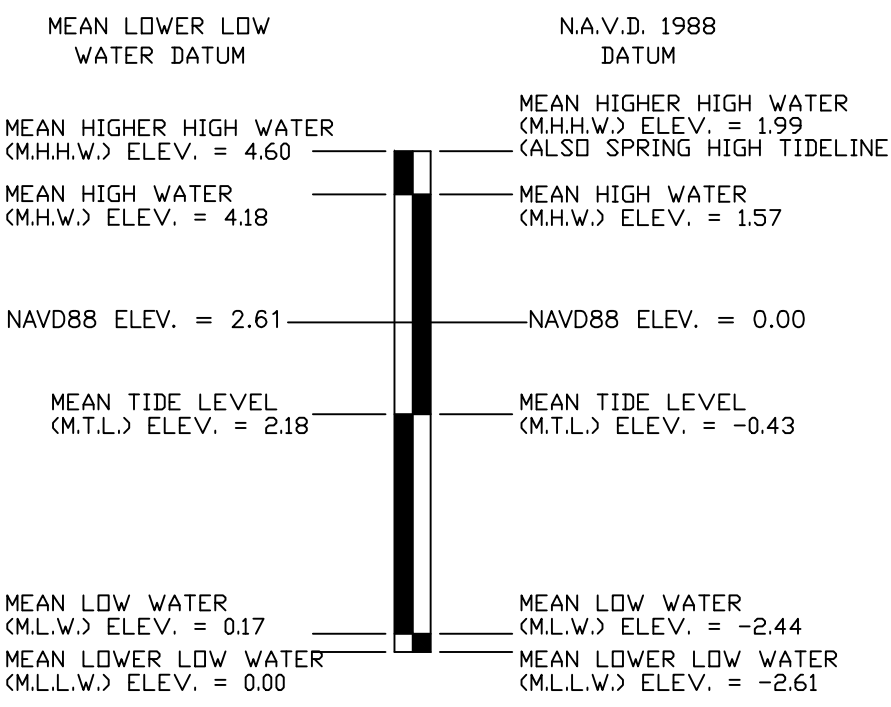


AERIAL

1" = 800'

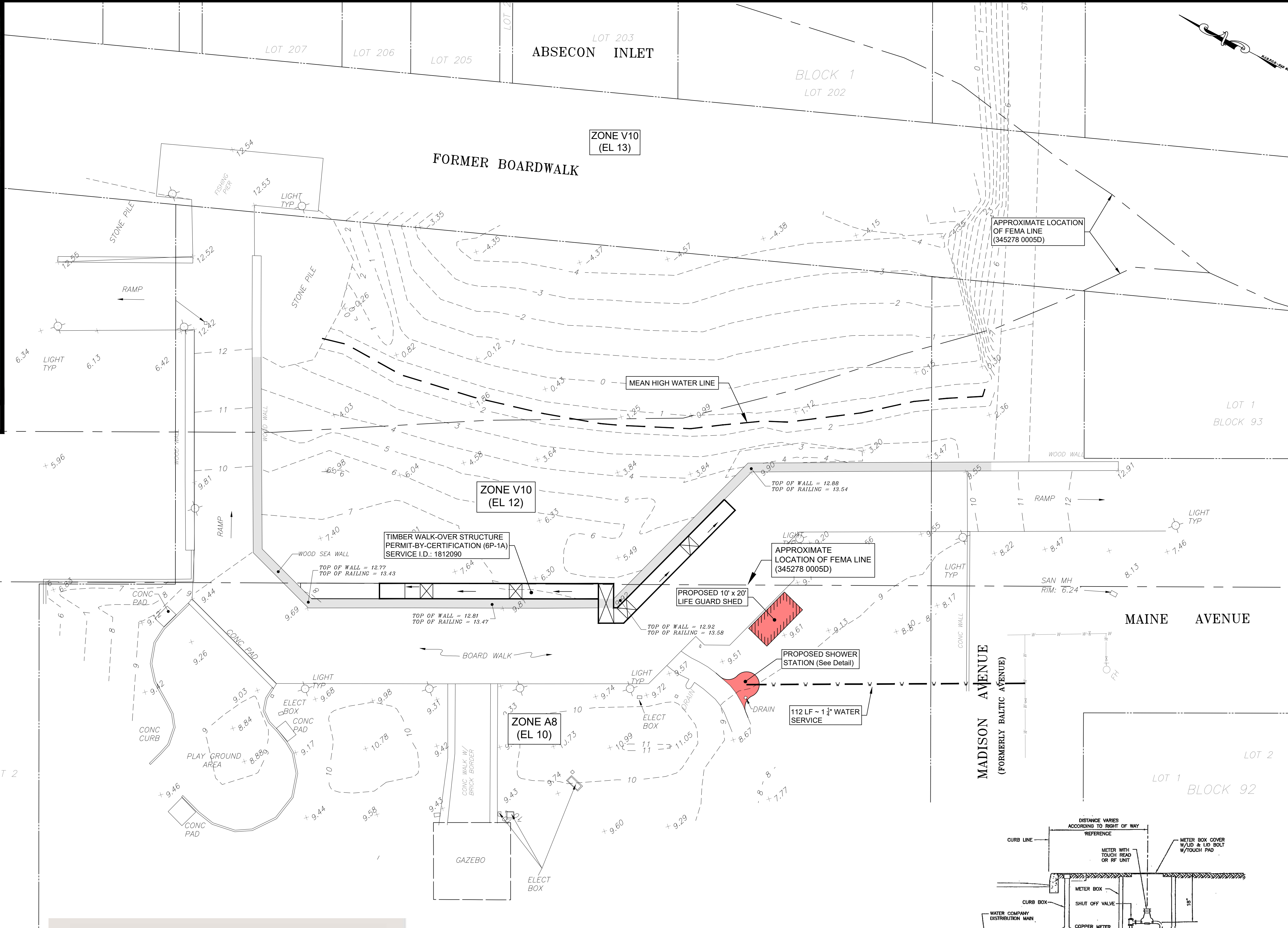


SHOWER STATION DETAIL
N.T.S.

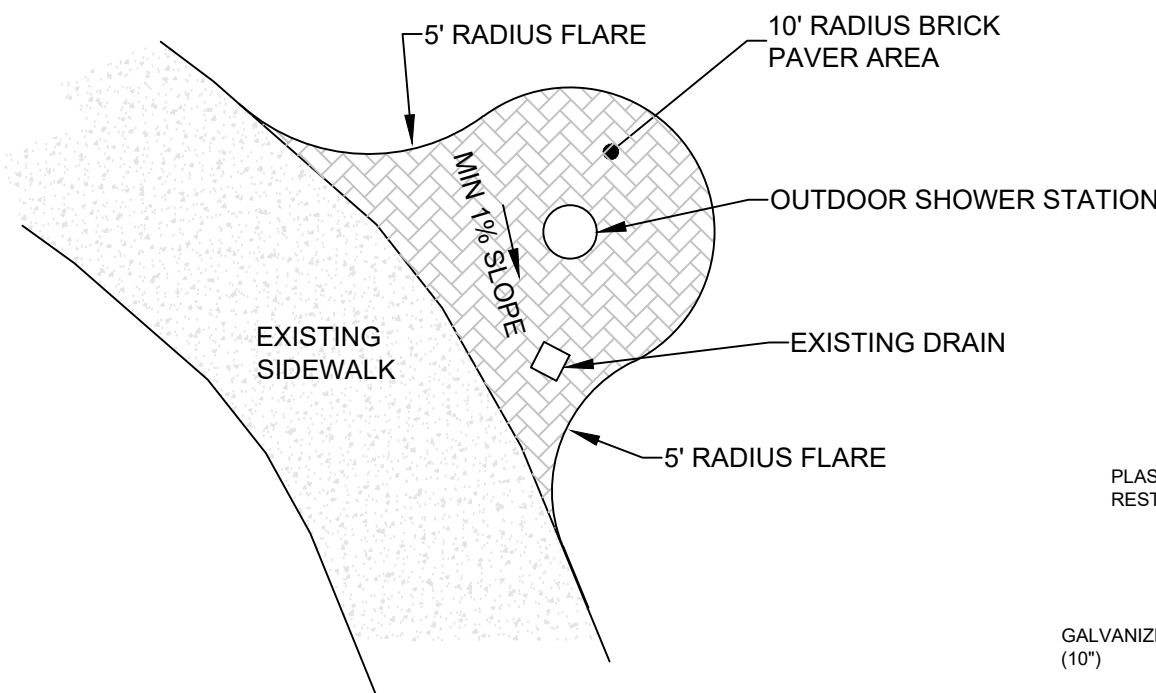


TIDAL DATUM
CONVERSION & RANGE

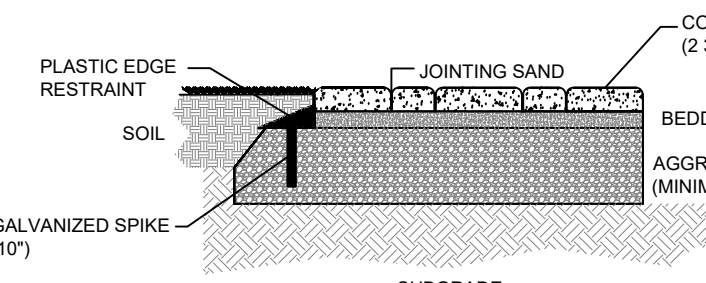
ALL ELEVATIONS SHOWN PER N.A.V.D. 1988 DATUM



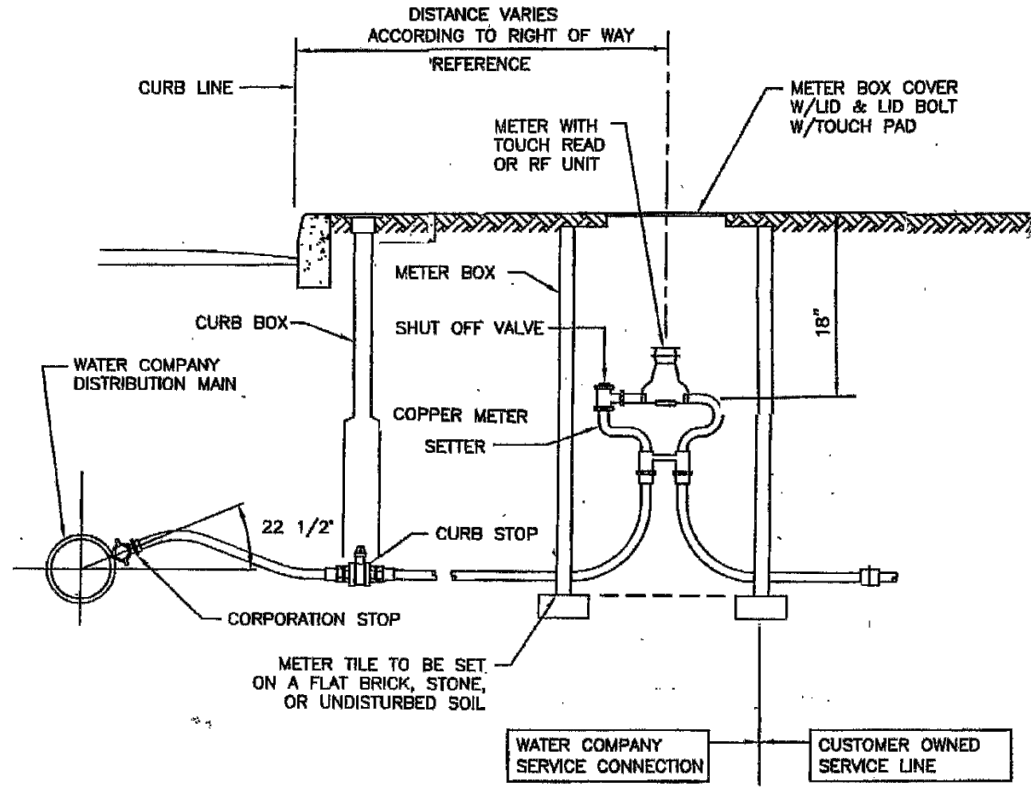
LIFEGUARD SHED
N.T.S.



SHOWER AREA DETAIL
N.T.S.



PAVER INSTALLATION DETAIL
N.T.S.



TYPICAL SERVICE LINE INSTALLATION
N.T.S.



GRAPHIC SCALE 1 inch = 20 ft.

Refer to graphic scale first, as drawing may be reduced in size during reproduction.

this plan is not valid unless a raised or digital seal is affixed hereto

CORMAC MORRISSEY, P.E.
PROFESSIONAL ENGINEER
N.J. No. 24E00825900

DIXON ASSOCIATES
ENGINEERING, LLC
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SUITE 102 X, JAY, PA 15466
(609) 662-7131
FAX (609) 662-2813
WWW.DIXONASSOCIATES.COM
N.J. State Board of Professional Engineers & Land Surveyors Certificate No. 2402016700

McCLINTON PARK IMPROVEMENTS
GENERAL PERMIT #13
BLOCK 94 LOT 1
ATLANTIC CITY
ATLANTIC COUNTY, NEW JERSEY

REVISIONS
12/5/24: Shower Station

DATE: 11/27/24
SCALE: 1" = 20'
DRAWN BY: MJ
CHK'D BY: CM
PROJECT No. DA24-022

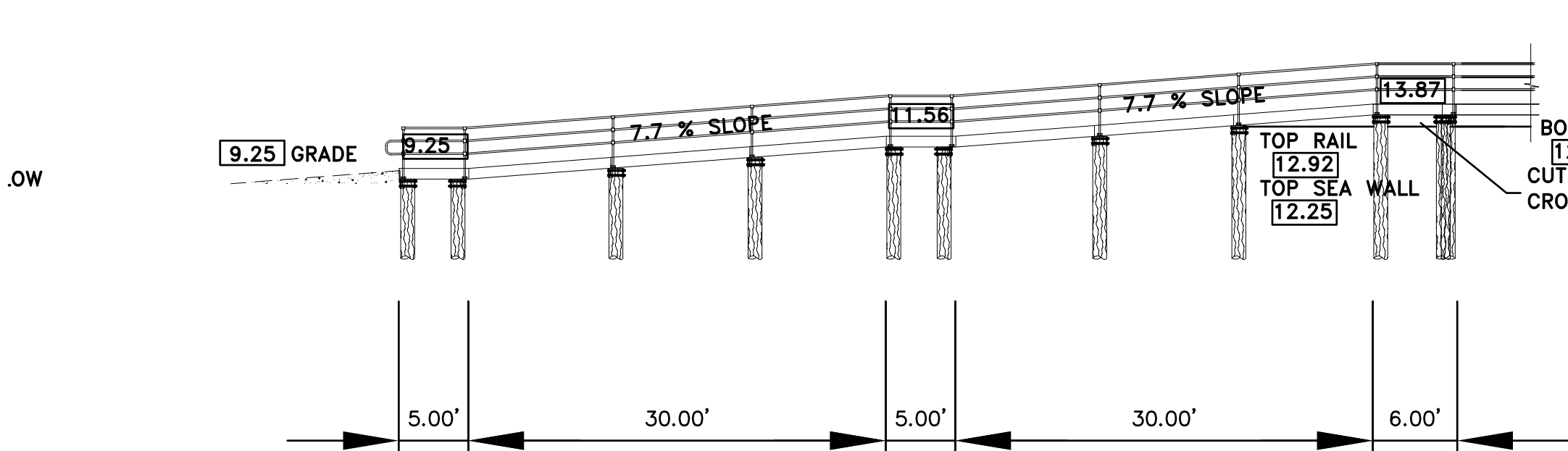
F:\PROJECTS\2024\DA24-022\CAD\PROJECT\2024_1204_McClinton_Park.dwg 12/4/2024 3:58 PM

Project Notes

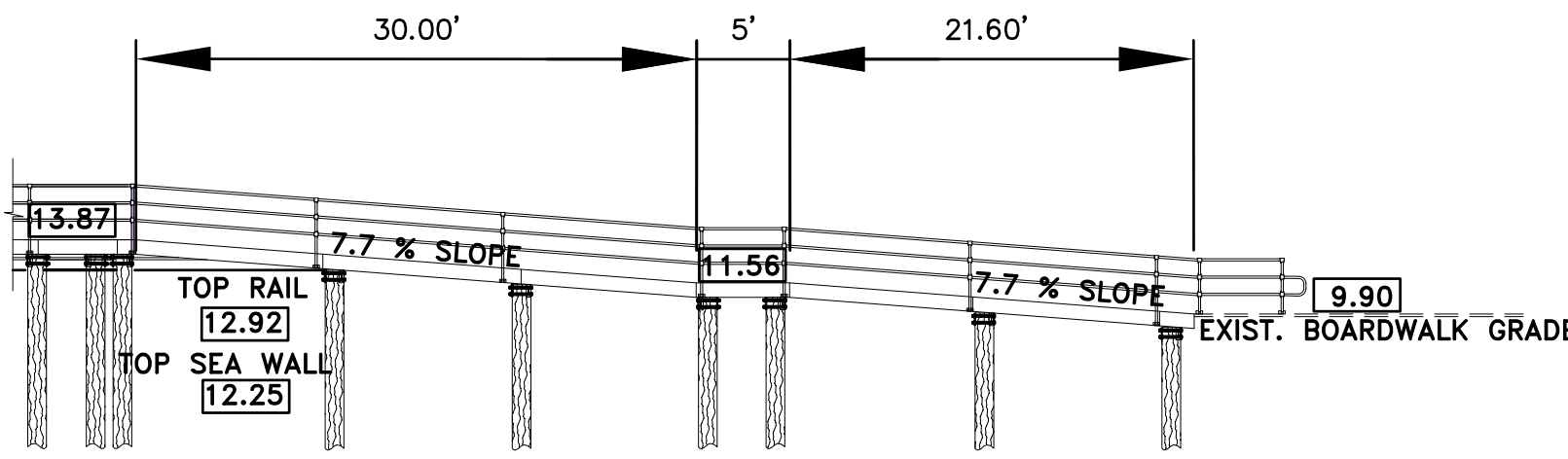
1. The subject parcel shown is Lot 1 in Block 91 on the current Tax Map for Atlantic City, Atlantic County, NJ.
2. The Owner is proposing improvemenst at McClinton Park which include a Beach Access ramp. This plan was prepared for the beach access ramp design only. Refer to plan "McClinton Park Improvements, McClinton Park Beach, Block 94, Lot 1 Atlantic City, Atlantic County, NJ" dated 9-25-2024 prepared by Dixon Associates Engineerin, LLC for all other site improvements proposed.
3. According to FEMA's Flood Insurance Rate Map, the site is located in Zone V10 (EI. 12) and A8 (EL. 10) flood zones.

Geometry & Survey Notes

1. Base Mapping & Survey information reference from plan titled "Plan of Partial Topography, McClinton Park, Boardwalk Between Melrose to Madison, Block 91, Lot 1, Atlantic City, Atlantic County, NJ" prepared by Delaware Valley data Collection, LLC dated 4-26-2024.
2. All vertical information referenced from referenced survey datum (NAVD88).
3. Elevations along sea wall in area of proposed ramp were field measured from known spot elevations indicated on the referenced survey on 12-10-2024 by Hurless Planning & Engineering. These elevations are approximate and used for design purposes.



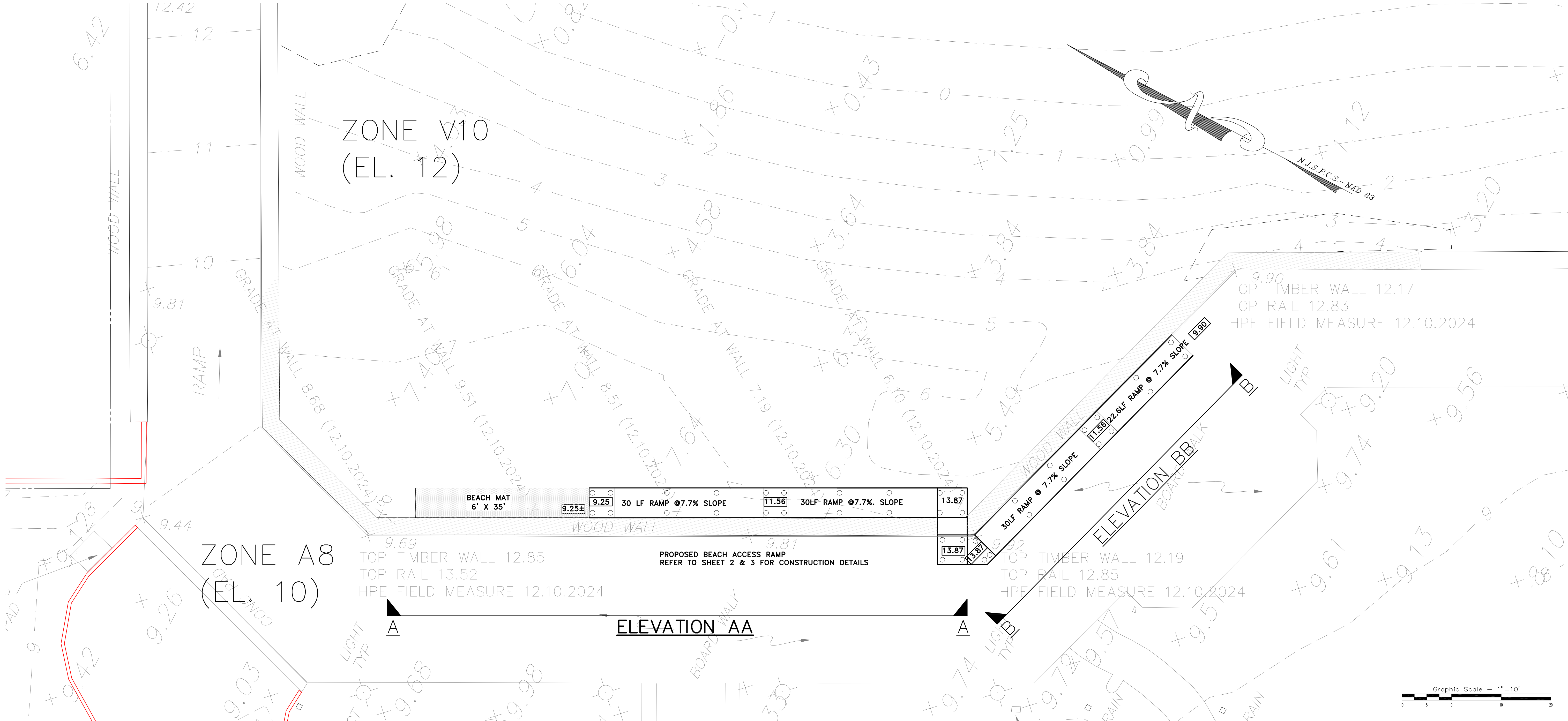
ELEVATION AA



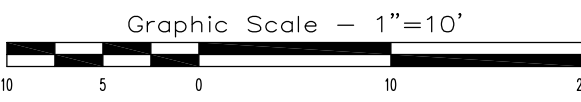
ELEVATION BB

GENERAL NOTES:

1. All documents herein are instruments of service. They are not intended or represented to be suitable for reuse by Owner or others for extensions of the project or any other project. Any reuse without written approval from Hurless Planning & Engineering LLC is prohibited. The user shall indemnify and hold harmless Hurless Planning & Engineering LLC from all claims, damages, losses and expenses arising out of or resulting therefrom.
2. This plan and all information herein is authorized for use only by the Client for whom the work was contracted for or to whom the work was subcontracted, distributed or relied upon for any other purpose without the written consent of Hurless Planning & Engineering LLC.



PARTIAL SITE PLAN – BEACH ACCESS RAMP



PERMIT PLAN–NOT ISSUED FOR CONSTRUCTION

Job No. 2024.14		Sheet No. 1	
Order 1		Total 3	
McClinton Avenue Park Block 94, Lot 1, Atlantic City, Atlantic County, NJ McClinton Park Beach Access Partial Site Plan & Profile Beach Access Ramp			
HURLESS PLANNING & ENGINEERING, LLC 507 Heritage Court Galloway Township, NJ 08205 Phone: (609) 204-0798 Email: c.hurless@comcast.net			
Craig R. Hurless Professional Engineer New Jersey License No. 42848 			
Date 12.19.2024			

C:\Land Projects 2004\2024.14 ACCC McClinton Park\dwg\rev00-x.dwg

General Construction Notes

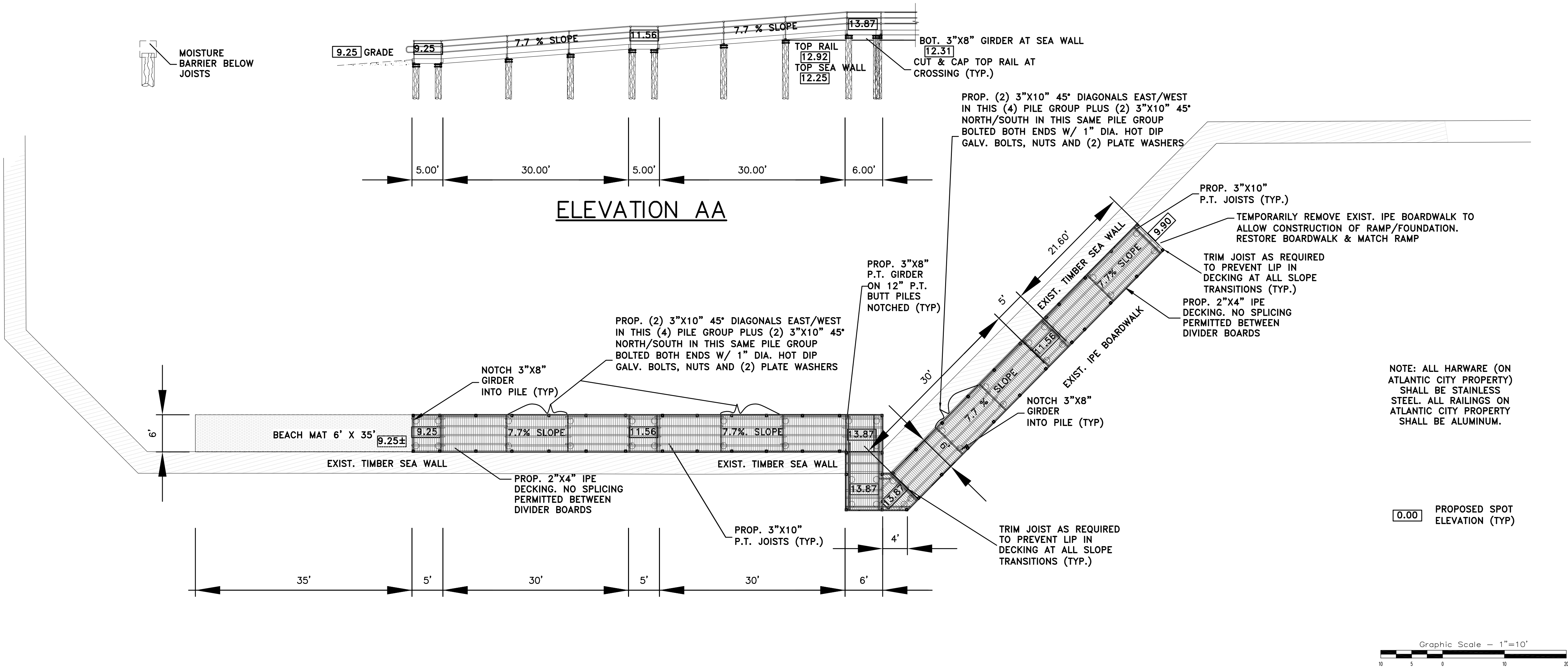
1. These plans have been prepared for permitting approval . Plans shall not be used for construction purposes until all conditions of approval have been met, all regulatory permits/approvals have been obtained and the plans have been revised to indicate "ISSUED FOR CONSTRUCTION."
2. Contractor shall be responsible for contacting "NJ One Call" for utility markout and verify location of all existing utilities prior to commencing digging. Contractor must notify Engineer immediately if conflicts are discovered.
3. Contractor shall be responsible for all site safety and conformance with all applicable laws governing site safety.
5. All dimensions must be verified by the contractor prior to Construction and Engineer & Owner must be notified of any discrepancies before proceeding with any work.
6. Owner/Contractor shall comply with all conditions of permitting approval not set forth or depicted on these plans.
7. Subsurface utilities have been plotted from available surveys, markouts and plans of others, therefore, the location of all existing subsurface utilities may not be shown and the existance or the exact location of said facilities shall be verified by by the contractors in the feild prior to construction.
8. The Contractor shall be completely responsible for ensuring that all materials, methods and details for construction of improvements conform to all applicable statutes, regulations, ordinances and standards of the governmental bodies having jurisdiction over such work. This responsibility shall include, but is not limited to the

a. Conformity with the approved plans as well as the Rules & Regulations of the Municipality and/or Municipal Utilities Authority.

b. Correction of all defects in the work, no matter what the cause, until the date of acceptance and thereafter for the period of any guarantee which runs beyond the date of acceptance.

c. Solution of any problem, unforeseen at the time of the approval of the plans, which may or do impair the integrity of any improvements, including problems such as high groundwater, unstable soil, etc.
9. The Contractor shall procure any required permits, licences, and inspections, pay all changes and fees and give notices necessary for and incidental to the due and lawful prosecution of the project.
10. The Contractor shall be responsible for clearing, grubbing, restoring, paving, topsoiling, fertilizing and seeding all areas disturbed by his activities.

11. Efforts shall be made by the Contractor to retain existing trees, vegetation and natural characteristics of the site to ensure conformance with the approved plan.
12. All soil erosion and sediment control measures shall be in accordance with detail herein and the "Standards for Soil Erosion and Sediment Control in New Jersey."
13. No material shall be placed or any disturbance permitted beyond the project property line, or right-of-way without the written permission of the property owner directly involved.
14. The Contractor shall maintain normal sewer service in existing sewers when constructing connections with proposed sewer.
15. Contractor shall responsible to protect and support, if neccessary, all existing utilities or structures which must be crossed. Damage to existing utilities shall be repaired immediately to the satisfaction of the utility owner.
16. The Contractor shall notify all utilities before construction begins and shall request a utility markout.
17. The Engineer may revise pipe inverts due to utility conflicts.
18. The Contractor shall be responsible for constructing test pits at any proposed utility crossing so that conflicts with existing utilities amny be resolved prior to the construction of proposed utilities.
19. The Contractor shall be responsible for constructing test pits prior to pile driving to ensure no conflict with utilities, boardwalk foundation or foundation structure/deadmen tiebacks for sea wall.
20. The Contractor is responsible for compliance with all ADA requirements(Current NJ Accessibility Code). Maximum ramp slope shall not exceed 8.33% at any location. Maximum length of any ramp section shall not exceed 30'. Landings shall be 5' x 5' minimum and 0% slope.



GENERAL NOTES:

1. All documents herein are instruments of service. They are not intended or represented to be suitable for reuse by Owner or others for extensions of the project or any other project. Any reuse without written approval from Hurlless Planning & Engineering LLC is prohibited. Hurlless Planning & Engineering LLC and owner shall indemnify and hold harmless Hurlless Planning & Engineering LLC from all claims, damages, losses and expenses arising out of or resulting therefrom.
2. This plan and all information herein is authorized for use only by the Client for whom the work was contracted for or to whom the work was subcontracted, and shall not be reproduced, distributed or relied upon for any other purpose without the written consent of Hurlless Planning & Engineering LLC.

PERMIT PLAN – NOT ISSUED FOR CONSTRUCTION

Job No. 2024.14		Sheet No. 2	
Order 2		Total 3	
McClinton Avenue Park Block 94, Lot 1, Atlantic City, Atlantic County, NJ McClinton Park Beach Access Construction Plan Beach Access Ramp			
HURLLESS PLANNING & ENGINEERING, LLC 507 Heritage Court Galloway Township, NJ 08205 Phone: (609) 204-0798 Email: c.hurlless@comcast.net State Board of Professional Engineers & Land Surveyors Certificate of Authorization No. 2403032000			
Craig R. Hurlless Professional Engineer New Jersey License No. 42848		Date 12.19.2024	
This Plan is Not Valid Unless a Raised or Digital Seal is Affixed Hereon		Revision Checked CRH	
Date Designed CRH		By Date 12.19.2024	

