PUBLIC NOTICE

REQUEST FOR PERMISSION TO ALTER A U.S. ARMY CORPS OF ENGINEERS PROJECT UNDER SECTION 408

TITLE: SECAA, LLC – Construct seasonal tourism-related amenities associated with the Chelsea Beach Bar along the upland Atlantic City beachfront in Atlantic City, Atlantic County, NJ within the footprint of the Absecon Island Coastal Storm Risk Management Federal Civil Works Project.

PUBLIC NOTICE IDENTIFICATION NUMBER: NAP-2020-408-0002

PUBLIC NOTICE COMMENT PERIOD:

Begins: **03 March 2020**

Expires: **02 April 2020**

Interested parties are hereby notified that an application has been received for a Department of the Army Section 408 permission for certain work at or near a federal project of the United States, as described below and shown on attached figures. Written comments are being solicited from anyone having an interest in the requested alteration. Comments will become part of the U.S. Army Corps of Engineers' (USACE's) administrative record and will be considered in determining whether to approve the request. Comments supporting, opposing, or identifying concerns that should be considered by the USACE in its decision process are all welcome.

This public notice is not a paid advertisement and is for public information only. Issuance of this notice does not imply USACE endorsement of the project as described.

- **1. REQUESTER:** In compliance with 33 USC 408 (Section 14 of the Rivers and Harbors Act of 1899; hereinafter Section 408), SECAA, LLC has requested permission to construct seasonal tourism-related amenities associated with the Chelsea Beach Bar along the upland Atlantic City beachfront in Atlantic City, Atlantic County, NJ. The project is sited within the footprint of the Absecon Island Coastal Storm Risk Management Federal Civil Works Project.
- **2. LOCATION:** The proposed project is located in uplands along the Atlantic Ocean beachfront between South Montpelier Avenue and South Morris Avenue in Atlantic City, Atlantic County, New Jersey.
- 3. LOCATION MAP(S)/DRAWING(S): See attached Drawings.
- **4. REQUESTER'S PROPOSED ACTION:** Construction of seasonal tourism-related amenities associated with the Chelsea Beach Bar along the upland Atlantic City beachfront;

within the footprint of the Absecon Island Coastal Storm Risk Management Federal Civil Works Project.

- **5. REGULATORY AUTHORITY:** This request will be reviewed according to the provisions of Section 14 of the Rivers and Harbors Act of 1899 (33 U.S.C. 408). A requestor has the responsibility to acquire all other permissions or authorizations required by federal, state, and local laws or regulations, including any required permits from the USACE Regulatory Program under Section 10 of the Rivers and Harbors Act of 1899 (33 USC 403), Section 404 of the Clean Water Act (33 USC Section 1344) and/or Section 103 of the Marine Protection, Research and Sanctuaries Act of 1972 (33 USC 1413). Any Section 10/404/103 permit decision associated with the proposed alteration is separate from and will not be included in the Section 408 permission decision. An approval under Section 408 does not grant any property rights or exclusive privileges nor does it authorize any injury to the property or rights of others.
- **6. ENVIRONMENTAL COMPLIANCE:** A decision on a Section 408 request is a federal action, and therefore subject to the National Environmental Policy Act (NEPA) and other environmental compliance requirements. While ensuring compliance is the responsibility of USACE, the requester is providing all information that the Philadelphia District identifies as necessary to satisfy all applicable federal laws, executive orders, regulations, policies, and ordinances. Based on information provided by the applicant to date, current Corps regulations governing NEPA implementation, and/or the contents of existing NEPA documentation if available, it is likely that the proposed action will be determined to be categorically excluded from the need to prepare an Environmental Assessment (EA) or Environmental Impact Statement (EIS). This determination will be finalized following completion of agency coordination and prior to issuance of the Section 408 Permission Decision.
- **7. EVALUATION:** As part of its evaluation, USACE will first make a determination that the submittal from the requestor is complete. The Philadelphia District is working closely with the requestor to ensure that all required technical plans, maps, drawings, and specifications are provided and are complete. Once the package is complete, a District-led review will be conducted to determine, in accordance with Engineering Circular (EC) 1165-2-216, whether the proposed alteration will impair the usefulness of the USACE Project or be injurious to the public interest, as follows:
 - A. *Impair the Usefulness of the Project Determination*. The Philadelphia District's Section 408 review team will determine if the proposed alteration will limit the ability of the federally authorized project to function as authorized, or will compromise or change any authorized project conditions, purposes or outputs.
 - B. Injurious to the Public Interest Determination. Proposed alterations will be reviewed to determine the probable impacts, including cumulative impacts, on the public interest. Evaluation of the probable impacts that the proposed alteration to the USACE project may have on the public interest requires a careful weighing of all those factors that are relevant in each particular case. Factors that may be relevant to the public interest depend upon the type of USACE project being altered and may include, but are not limited to, such things as conservation, economic

development, historic properties, cultural resources, environmental impacts, water supply, water quality, flood hazards, floodplains, residual risk, induced damages, navigation, shore erosion or accretion, and recreation. The decision whether to approve an alteration will be determined by the consideration of whether benefits are commensurate with risks. If the potential detriments are found to outweigh the potential benefits, then it may be determined that the proposed alteration is injurious to the public interest.

- 8. **SOLICITATION OF COMMENTS:** The USACE is soliciting comments from the public; federal, state, and local agencies and officials; Indian Tribes; and other interested parties in order to consider and evaluate the impacts of the proposed activity. Any comments received will be considered by USACE to determine whether to issue, modify, condition, or deny a permission for this proposal. To make this decision, comments are used to assess impacts on endangered species, historic properties, water quality, general environmental effects, and other public interest factors listed above. Comments are considered in making a final determination whether the proposed action will be categorically excluded from the need to prepare further NEPA documentation. Comments are also used to determine the need for a public hearing and to determine the overall public interest of the proposed activity.
 - A. It should be noted that materials submitted as part of the Section 408 request become part of the public record and are thus available to the general public under the procedures of the Freedom of Information Act (FOIA). Individuals may submit a written request to the Philadelphia District Corps of Engineers, Office of Counsel to obtain copies of said materials under the FOIA.
 - B. It is presumed that all parties viewing this notice will wish to respond to this public notice; therefore, a lack of response will be interpreted as meaning that there is no objection to the project as described.
 - 9. **COMMENT SUBMISSION AND ADDITIONAL INFORMATION:** Written comments on the described work should reference the USACE Public Notice Identification Number found on the first page of this notice. Comments must reach this office no later than the stated expiration date of the Public Notice to become part of the record and be considered in the decision. Comments or requests for additional information should be mailed or emailed to the following address:

Email: <u>JuanCarlos.Corona@usace.army.mil</u>
Mailing Address:
U.S. Army Corps of Engineers

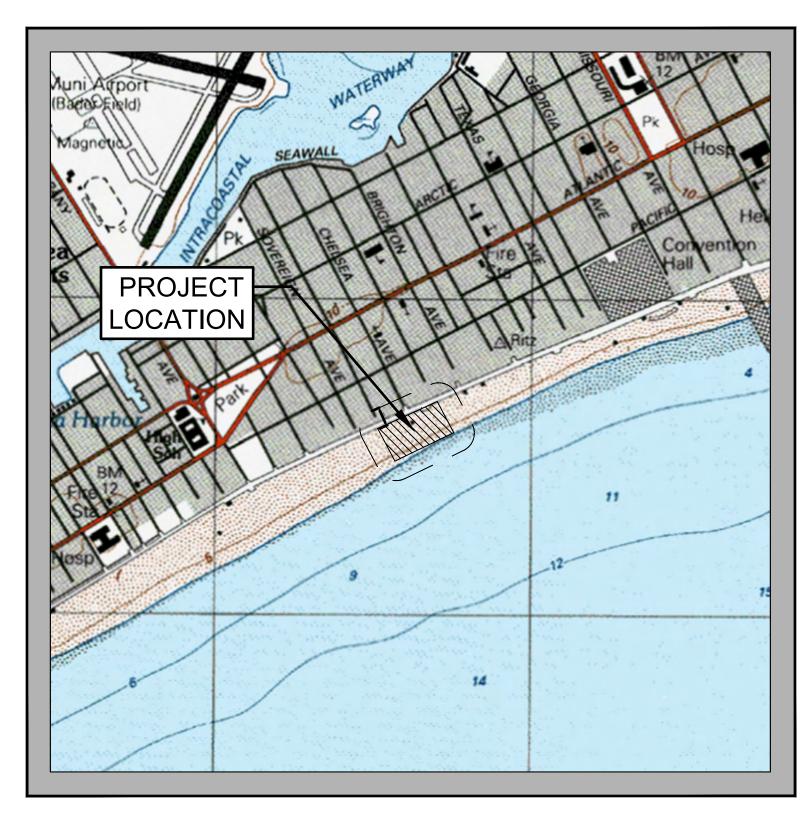
Philadelphia District
ATTN: Juan Carlos Corona
7th Floor

100 Penn Square East Philadelphia, PA 19107-3390

PRELIMINARY/FINAL MAJOR SITE PLANS CHELSEA BEACH BAR

BLOCK 1, LOTS 43 TO 47

CITY OF ATLANTIC CITY, ATLANTIC COUNTY, NEW JERSEY



USGS KEY MAP

SOURCE: ATLANTIC CITY QUANDRANGLE SCALE: 1"=1000'

- THIS PLAN SET HAS BEEN PREPARED TO SECURE CRDA & NJDEP PERMITS FOR THE PROPOSED SEASONAL BEACH BAR DEVELOPMENT OF
- THE OFFICE OF THE CITY ENGINEER SHALL BE NOTIFIED IN ADVANCE OF COMMENCEMENT OF CONSTRUCTION OF ANY IMPROVEMENTS
- 3. CONTRACTOR SHALL COORDINATE UTILITY MARK OUTS 72 HOURS PRIOR TO ANY DISTURBANCE.
- 4. ALL SOIL EROSION CONTROL MEASURES MUST BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION AND ARE SUBJECT TO
- BY THE CITY ENGINEER OR OTHER AGENCIES OR DEPARTMENTS TO SATISFY ENVIRONMENTAL CONCERNS.
- 6. THE INSTALLATION OF UTILITIES MUST BE COORDINATED WITH BUILDING IMPROVEMENTS TO ASSURE THE WELL-BEING OF LIFE AND PROPERTY DURING CONSTRUCTION. WATER SERVICE IS A PRIMARY NEED AND MUST BE SCHEDULED ACCORDINGLY. WATER SUPPLY AND HYDRANT CONNECTIONS ARE TO BE ESTABLISHED AS A PRIORITY DURING INITIAL SITE DEVELOPMENT TO ASSURE ADEQUATE WATER FOR FIREFIGHTING DURING ALL PHASES OF CONSTRUCTION.
- AS INDICATED IN THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" SUFFICIENT CONSTRUCTION WARNING SIGNS ARE TO BE PROVIDED AND MAINTAINED BY CONTRACTORS PERFORMING CONSTRUCTION WORK, SAID SIGNS ARE TO BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETED AND APPROVED BY THE APPROPRIATE CITY INSPECTION PERSONNEL NO CONSTRUCTION THAT IN ANY WAY INTERFERES WITH ROADWAY TRAFFIC SHALL COMMENCE UNTIL THE APPROPRIATE CONSTRUCTION WARNING SIGNS ARE INSTALLED AND INSPECTED BY THE CITY ENGINEER. ALL SUCH SIGNAGE, STRIPING, PARKING AND TRAFFIC CIRCULATION SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", AS AMENDED, AS WELL AS THE REQUIREMENTS OF THE
- CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY CONSTRUCTION GUIDELINES FOR STREET OPENINGS WITHIN THE
- L. ALL ROADWAYS ARE TO BE PASSABLE FOR FIRE DEPARTMENT USE DURING CONSTRUCTION, ANY ROADWAY CLOSURE OR RELOCATION SHALL BE COORDINATED BY THE CONTRACTOR WITH THE FIRE DEPARTMENT TO ENSURE ADEQUATE FIRE PROTECTION FOR ALL AREAS AT ALL TIMES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING WARNING SIGNS, BARRICADES, AND ANY AND ALL SAFETY
- 10. LOCATION OF EXISTING INLETS, CATCH BASINS AND MANHOLES MUST BE FIELD VERIFIED BEFORE WORK MAY COMMENCE. ANY CONFLICTING INFORMATION FROM THAT SHOWN SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER.
- 1. SUBSTITUTIONS OF PROPRIETARY MATERIAL AND/OR PRODUCT SPECIFICATIONS THAT NOTE "OR EQUAL" MUST BE APPROVED BY THE DESIGN ENGINEER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DEMONSTRATE TO THE SATISFACTION OF THE DESIGN 12 IT IS NOT THE INTENT OF THESE PLANS TO PROVIDE REINFORCING STEEL AND CONCRETE DESIGNS FOR ANY PRE-CAST OR
- POURED-IN-PLACE CONCRETE STRUCTURES, OTHER THAN THE REINFORCING STEEL AND CONCRETE DESIGNS SPECIFICALLY NOTED ON THESE PLANS, ANY REINFORCING STEEL AND CONCRETE DESIGN MUST BE SUPPLIED, SIGNED & SEALED BY THE PRE-CAST MANUFACTURER OR A REPUTABLE LICENSED STRUCTURAL ENGINEER IN THE STATE OF NEW JERSEY REPRESENTING THE CONTRACTOR AND SHALL BE INCLUDED IN THE SHOP DRAWING SUBMITTAL SUBJECT TO REVIEW BY PS&S.
- 13. THE CONTRACTOR SHALL PREPARE AS-BUILT DRAWINGS FOR ALL UNDERGROUND IMPROVEMENTS INSTALLED DURING CONSTRUCTION, ETC. AS-BUILT DRAWINGS MUST BE SIGNED & SEALED BY A NJ PROFESSIONAL ENGINEER OR LAND SURVEYOR. THE AS-BUILT SURVEY PRAWINGS MUST COMPLY WITH UTILITY OWNER STANDARDS/REQUIREMENTS. COPIES SHALL BE SUBMITTED TO UTILITY COMPANY
- 14. ALL CONSTRUCTION SHOWN HEREIN SHALL CONFORM TO RSIS, CITY AND/OR COUNTY STANDARDS, CONSTRUCTION DETAILS, AND SPECIFICATIONS APPLICABLE AS WELL AS THE NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, UNLESS SPECIFICALLY NOTED OTHERWISE. IN CASE OF CONFLICT, THE MORE RESTRICTIVE SHALL GOVERN. CONTRACTOR SHALL NOTIFY DESIGN ENGINEER OF ALL CONFLICTS.
- 15. ANY AND ALL ASPHALT, CURBING, SIDEWALK AND OTHER EXTERIOR SITE CONDITIONS DEEMED TO BE INADEQUATE BY THE CITY NGINEER'S OFFICE SHALL BE REMOVED, REPAIRED, RESTORED AND/OR RECONSTRUCTED AS DEEMED NECESS

NOTES ON THE USE OF PLANS

DRAWINGS. DO NOT SCALE THE DRAWINGS TO DETERMINE DIMENSIONS..

- UNLESS THESE DRAWINGS ARE SPECIFICALLY DESIGNATED AS "CONSTRUCTION ISSUE." THESE DRAWINGS OR THE IMPROVEMENTS DEPICTED HEREIN SHALL NOT BE USED FOR CONSTRUCTION. CONTRACTORS SHALL NOTIFY THE DESIGN ENGINEER TO OBTAIN
- ALL DIMENSIONS MUST BE VERIFIED BY THE CONTRACTOR. NOTIFY PAULUS, SOKOLOWSKI AND SARTOR OF ANY CONFLICTS, ERRORS, AMBIGUITIES OR DISCREPANCIES IN THE CONTRACT DRAWINGS OR SPECIFICATIONS BEFORE PROCEEDING WITH CONSTRUCTION. 3. INFORMATION FOR DESIGN LAYOUT IS CONTAINED SOLELY IN THE WRITTEN DIMENSIONS, BEARINGS, AND ANGLES CONTAINED ON THE
- THESE CONTRACT DRAWINGS CONTAIN DATA INTENDED SPECIFICALLY FOR THE NOTED PROJECT AND CLIENT THEY ARE NOT INTENDED FOR USE ON EXTENSIONS OF THIS PROJECT OR FOR REUSE ON ANY OTHER PROJECT. THE COPYING AND/OR MODIFICATION OF THIS DOCUMENT OR ANY OTHER PORTION THEREOF WITHOUT THE WRITTEN PERMISSION OF PAULUS, SOKOLOWSKI, AND SARTOR IS
- 5. THIS DIMENSIONAL INFORMATION IS NOT WARRANTED NOR SHOULD IT BE CONSIDERED AS COMPLETE FOR EVERY ASPECT OF THE LAYOUT. STANDARD PRACTICE REQUIRES THAT THE LAYOUT PERSON CHECK THE DIMENSIONAL DATA CONSISTENCY AND TO MAKE SURVEY CALCULATIONS WHICH ARE CUSTOMARY FOR CONSTRUCTION LAYOUT. IN THE EVENT A QUESTION OR INCONSISTENCY IS
- DISCOVERED, THE USER SHOULD IMMEDIATELY NOTIFY THE ENGINEER OF RECORD. THE GRAPHICAL INFORMATION CONTAINED IN ELECTRONIC FILES IS INTENDED AS DRAWING DATA ONLY, IT IS NOT INTENDED TO SERVE AS SURVEY LAYOUT DATA.
- ALL SITEWORK UTILITIES TO BE INSTALLED BY SITE CONTRACTOR TO A POINT (5) FIVE FEET FROM THE BUILDING STRUCTURE IN ACCORDANCE WITH INDUSTRY STANDARDS UNLESS SPECIFICALLY SHOWN OTHERWISE. SITE CONTRACTOR TO COORDINATE WITH BUILDING TRADES CONTRACTOR TO ENSURE COORDINATION OF UTILITY CONNECTION LOCATIONS AND MATERIAL SPECIFICATIONS. REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER OF RECORD

. ALL DIMENSIONAL INFORMATION SHOWN HEREON INDICATING BUILDINGS IS BASED UPON FACE OF BUILDING. ALL ROADWAY

- DIMENSIONS ARE TO INSIDE FACE OF CURBING. ALL SIDEWALK DIMENSIONS ARE TO OUTSIDE FACE OF CURBIN 9. THESE PLANS DO NOT INCLUDE ANY STRUCTURAL CALCULATIONS OR DESIGNS. THE APPLICANT IS TO COORDINATE ANY STRUCTURAL
- EMENTS WITH A LICENSED NJ STRUCTURAL ENGINEER, WHOM SHALL PREPARE THE NECESSARY SIGNED AND SEALED DOCUMENTS FOR BUILDING PERMITS AND ANY OTHER NECESSARY APPROVALS.
- 10. ALL PROPOSED IMPROVEMENTS SHOWN ARE FOR PERMITTING ONLY, NO CONSTRUCTION IS TO BASED ON THESE PLANS. CONTRACTOR TO SUPPLY CATALOG CUTS AND SHOP DRAWINGS FOR CLIENT REVIEW PRIOR TO CONSTRUCTION OR ORDERING OF MATERIAL

REFERENCE AND BASE INFORMATION NOTE:

- ALL PROPOSED WORK SHOWN LIES WITHIN THE CITY OF ATLANTIC CITY, ATLANTIC COUNTY, NEW JERSEY. DUNE IS BASED ON SURVEY ENTITLED "LIMITED TOPOGRAPHICAL SURVEY, TAX LOT 46, BLOCK 1, ATLANTIC CITY, ATLANTIC COUNTY
- TOPOGRAPHIC AND SURFACE UTILITY INFORMATION SHOWN FOR AREAS LANDWARD OF THE DUNE IS BASED ON PLANS ENTITLED
- LLC C/0 CELEBRITY CORNER, INC.", BY SCIULLO ENGINEERING SERVICES, LLC DATED 6/12/18
- AVENUE BEACH, ATLANTIC CITY, NJ" BY CONCORD ATLANTIC ENGINEERS, DATED 6/22/16. 5. HORIZONTAL CONTROL IS BASED ON NAD83. VERTICAL CONTROL IS BASED ON NAVD88.
- . WETLANDS: WETLANDS DO NOT EXIST ON THE PROJECT SITE PER NJDEP GIS MAPPING. 5. THE CONTRACTOR SHALL PROVIDE SUCH TEMPORARY DRAINAGE, SOIL EROSION, AND DUST CONTROL MEASURES AS MAY BE DIRECTED
 - THE FLOOD HAZARD AREA ELEVATIONS ARE BASED ON THE MAP ENTITLED "PRELIMINARY FEMA FLOOD INSURANCE RATE MAP NUMBER 34001C0452F". HAVING AN EFFECTIVE DATE OF MAY 30, 2014. 8. THE FLOOD HAZARD AREA IS TIDAL.
 - 9. GEOTECHNICAL INVESTIGATIONS HAVE NOT BEEN PERFORMED.
 - 10. EXCEPT WHERE SPECIFICALLY NOTED, EXISTING FEATURES ARE SHOWN IN HALF TONE AND PROPOSED FEATURES ARE SHOWN IN
 - PROPOSED IMPROVEMENTS INCLUDE ITEMS FROM MANUFACTURERS, FOR THE PURPOSE OF THE APPLICATION. ACTUAL PRODUCTS SHALL BE THESE PRODUCTS OR APPROVED EQUALS. EMOLITION NOTES
 - ALL EXISTING STRUCTURES AND UTILITIES NOT INDICATED TO BE REMOVED SHALL BE LOCATED. IDENTIFIED AND PROTECTED FROM DAMAGE THROUGHOUT THE CONSTRUCTION PERIOD. ALL STRUCTURES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE AND TO THE SATISFACTION OF THE OWNER, PROVIDE TEMPORARY SERVICES DURING NTERRUPTIONS TO EXISTING UTILITIES AS ACCEPTABLE TO THE OWNER.
 - ALL TEMPORARY STORAGE EQUIPMENT/DUMPSTERS PROVIDED BY THE CONTRACTOR SHALL BE MAINTAINED PROPERLY AND DISPOSED OF BY THE CONTRACTOR UPON COMPLETION OF THE WORK. LOCATIONS TO BE A MINIMUM OF 15 FEET FROM BUILDINGS
 - AND AS APPROVED BY THE OWNER. . ANY UTILITIES NOT SHOWN ON THE PLANS BUT UNCOVERED IN THE FIELD SHALL BE VERIFIED FOR ITS STATUS (ACTIVE OR
 - ABANDONED). THE UTILITIES CONFIRMED ABANDONED SHALL BE COMPLETELY REMOVED (WITHIN THE LIMITS OF THE WORK) AND DISPOSED OF OFF SITE AS PART OF THIS WORK. ANY DISRUPTION TO ACTIVE UTILITIES MUST BE REPAIRED BY THE CONTRACTOR WITHIN 24 HOURS OF THE DISRUPTION AT THE CONTRACTORS EXPENSE AND TO THE SATISFACTION OF THE OWNER. ALL MATERIAL REMOVED SHALL BE SEGREGATED BY MATERIAL TYPE AND DISPOSED OF PER LOCAL, NJDEP, USEPA AND OTHER
 - IE HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION. THE CONTRACTOR SHALL IMMEDIATELY STOP WORK AND REPORT SUCH FINDINGS TO THE OWNER'S REPRESENTATIVE WHO WILL ARRANGE FOR TESTING AND BE RESPONSIBLE FOR THE PERFORMANCE OF ANY SERVICES IN CONNECTION WITH IDENTIFYING OR THE REMOVAL OF SUCH MATERIALS.
 - DEWATERING: PREVENT SURFACE WATER AND SUBSURFACE OR GROUND WATER FROM FLOWING INTO EXCAVATIONS AND FROM FLOODING PROJECT SITE AND SURROUNDING AREAS. CONTRACTOR SHALL BE RESPONSIBLE FOR DEVELOPING AND IMPLEMENTING MEANS AND METHODS NECESSARY TO DEWATER THE PROJECT SITE AND FACILITATE COMPACTION OF BACKFILL
 - CHANGES DETRIMENTAL TO STABILITY OF SUBGRADE. PROVIDE AND MAINTAIN PUMPS, WELL POINTS, SUMPS, SUCTION AND DISCHARGE LINES, AND OTHER DEWATERING SYSTEM COMPONENTS NECESSARY TO CONVEY WATER AWAY FROM EXCAVATION WATERING SYSTEMS SHALL BE INSTALLED AND OPERATED SUCH THAT UPWARD FLOW OF GROUNDWATER IS PREVENTED AND THE BEARING STRENGTH OF THE SUBGRADE SOILS IS NOT AFFECTED.

DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS. REMOVE WATER TO PREVENT SOFTENING OF BOTTOMS AND SOIL

- 8. CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY COVER (CRUSHED STONE, STEEL PLATES OR OTHER MEANS) OVER ALL ACTIVE UNDERGROUND UTILITY PIPING DURING CONSTRUCTION IN ORDER TO PROTECT PIPING WHICH MAY NOT HAVE ENOUGH COVER (BELOW FINISHED GRADE) TO WITHSTAND CONSTRUCTION EQUIPMENT LOAD.
- 9. BEGINNING OF DEMOLITION/CONSTRUCTION SHALL INDICATE THAT THE CONTRACTOR ACCEPTS THE EXISTING CONDITIONS. 10. TEMPORARY STAGING AREA FOR THE PROPOSED WORK SHALL BE AS DIRECTED BY THE OWNERS REPRESENTATIVE
- 11. TRENCH EXCAVATION, IF REQUIRED FOR UTILITIES IN PAVED AREAS, SHALL BE BACK FILLED WITH COMPACTED DENSE GRADED AGGREGATE CONFORMING TO NJDOT SPECIFICATION SECTION 901 UP TO PAVEMENT SUBBASI
- 12. BITUMINOUS PAVEMENT CONSTRUCTION/REPAIR SHALL BE IN ACCORDANCE WITH NJDOT AND PROJECT SPECIFICATIONS/DETAILS.
- 13. THE CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE, CITY ENGINEER, AND "SUPER SNOOPER" (1-800-272-1000) AT 14. CONTRACTOR SHALL VERIFY THAT ALL STORM SEWERS LOCATED WITHIN THE PROJECT AREA ARE CLEAN AND FREE OF ANY
- 15. THE IMPORTED FILL/BACKFILL SOIL SHALL BE SAMPLED IN ACCORDANCE WITH APPLICABLE NJDEP STANDARDS.

CONTRACTORS SHALL EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF HANDICAP (ADA. BARRIER FREE, ETC.)

NOT EXCEED 1:48 (\(\frac{1}{4} \)" PER FOOT OR NOMINALLY 2.0%)

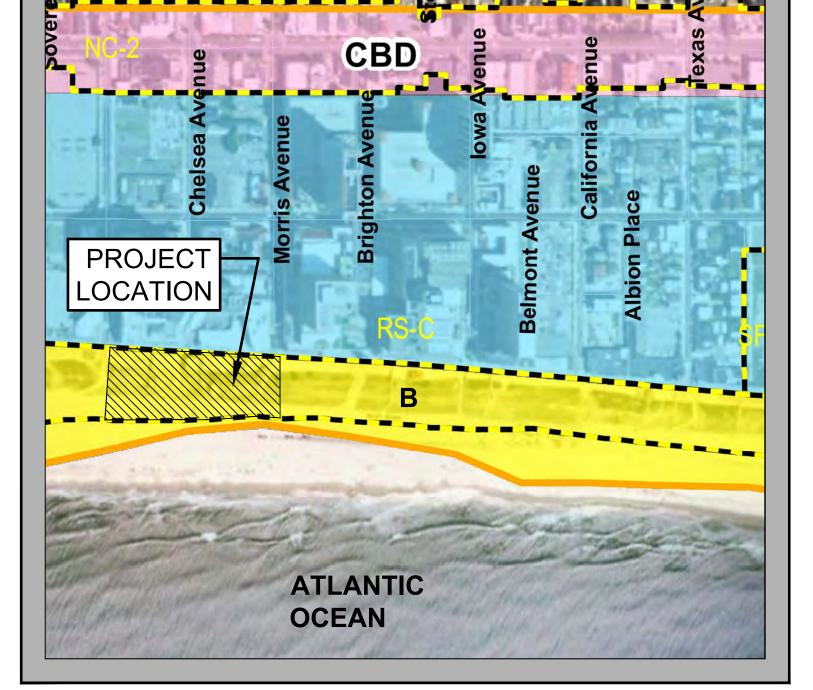
ICC/ANSI A117.1-2003 AND OTHER REFERENCES INCORPORATED BY CODE).

ACCESSIBLE COMPONENTS FOR THE SITE. THESE COMPONENTS (AS CONSTRUCTED) MUST COMPLY WITH THE CURRENT EDITION OF THE NJ UNIFORM CONSTRUCTION CODE SUBCHAPTER 7 BARRIER FREE ACCESS, FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF RAVEL FROM PARKING SPACES, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS AND INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EGRESS. SHALL COMPLY WITH THE ADA CODE REQUIREMENTS. THESE INCLUDE. BUT ARE NOT LIMITED

DEBRIS OR BLOCKAGE. CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE IF ANY STORM SEWER REQUIRES CLEANING

- PARKING SPACES AND PARKING AISLES SLOPE SHALL NOT EXCEED 1:48 (//4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
- CURB RAMPS SLOPE SHALL NOT EXCEED 1:12 (8.3%) FOR A MAXIMUM OF SIX (6) FEET. LANDINGS - SHALL BE PROVIDED AT EACH END OF RAMPS POSITIVE DRAINAGE SHALL BE PROVIDED, AND CROSS SLOPE SHALL
- PATH OF TRAVEL ALONG ACCESSIBLE ROLLTE SHALL PROVIDE A 36 INCH OR GREATER LINORSTRUCTED WIDTH OF TRAVEL (CAR.) OVERHANGS CANNOT REDUCE THIS MINIMUM WIDTH). THE SLOPE SHALL BE NO GREATER THAN 1:20 (5.0% OR 5/4" PER FOOT) IN OVERTIANS ANNOT REDUCE THIS MINIMUM WIDTH, THE SLOPE SHALL BE NO GREATER THAN 1.20 (3.0% OF REPORT) IN THE DIRECTION OF TRAVEL, AND SHALL NOT EXCEED 1:48 (½" PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), AN ADA RAMP WITH A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM DISTANCE OF
- 30 FEET, SHALL BE PROVIDED. THE RAMP SHALL HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE CROSS SLOPED NO MORE THAN 1:48 ("PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE. DOORWAYS - SHALL HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED NO MORE THAN 1:48

IT IS RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL PRIOR 17. THE MAXIMUM WIDTH OF ANY PROPOSED AT-GRADE DUNE WALKOVERS SHALL BE 10 FEET. TO COMMENCING WORK TO VERIFY COMPLIANCE FOR ALL ADA COMPONENTS.



ZONING MAP

SOURCE: April 12, 2017 ATLANTIC CITY ZONING & TOURISM DISTRICT ZONES SCALE:: 1"=500'

UTILITY INSTALLATION NOTES

ITION OF THE CONTRACTOR IS DIRECTED TO THE FACT THAT THE LOCATION OF KNOWN UTILITY STRUCTURES AND FACILITIES THAT MA BE ENCOUNTERED WITHIN AND ADJACENT TO THE LIMITS OF WORK AS SHOWN ON THE PLANS IS APPROXIMATE. THE ACCURACY AND COMPLETENESS OF THIS INFORMATION IS NOT GUARANTEED BY THE ENGINEER. THE CONTRACTOR SHALL VERIFY IN THE FIELD ALL THE FACTS CONCERNING THE UTILITY INFORMATION, LOCATIONS AND OTHER CONSTRUCTION OBSTACLES PRIOR TO CONSTRUCTION. FURTHER THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING PRIOR TO CONSTRUCTION OF ANY DISCREPANCIES WHICH MAY AFFECT PROJEC LOCATIONS ARE SHOWN FOR SCHEMATIC PURPOSES ONLY AND MAY NOT REPRESENT ALL EXISTING UTILITIES.

4. UNDERGROUND UTILITY INFORMATION SHOWN BASED ON MEP PLANS ENTITLED "CELEBRITY CORNER, CHELSEA BEACH BAR, CHELSEA 2. ALL SANITARY SEWER MAINS SHALL BE SEPARATED FROM WATER MAINS BY A MINIMUM OF TEN (10) FEET HORIZONTALLY AND EIGHTEEN (18) INCHES VERTICALLY WHENEVER A CROSSING MAY OCCUR. THE WATER MAIN SHOULD BE LOCATED ABOVE THE SANITARY SEWER BY EIGHTEEN (18) INCHES MINIMUM. WHERE 18 INCH VERTICAL CLEARANCE CANNOT BE OBTAINED THE SANITARY SEWER SHALL BE CONSTRUCTED O CLASS 53 DUCTILE IRON PIPE CONFORMING TO ANSI 21.51 AND LINED IN ACCORDANCE WITH ANSI 21.4. JOINTS SHALL BE SEALED WITH GASKETS IN CONFORMANCE WITH ANSI A21.11. THE LOWER OF THE TWO PIPES SHALL BE ENCASED IN A CONCRETE ENVELOPE FOR A MINIMUM. OF 10 FEET EACH WAY FROM THE CENTERLINE OF THE CROSSING. SELECT BACKFILL SHALL BE CLEAN SAND OR NJDOT SOIL AGGREGATE APPROVED BY THE DESIGN ENGINEER COMPACTED TO 95% OF MODIFIED PROCTOR DENSITY ASTM D-1557 METHOD D. IT SHALL EXTEND A MINIMUM OF 10 FEET EACH WAY FROM THE CENTERLINE OF THE CROSSING.

3. EXISTING STREET SURFACES AND OTHER SURFACES DISTURBED BY THE CONSTRUCTION OF FACILITIES FOR THIS PROJECT SHALL BE

RESTORED BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY ENGINEER, COUNTY ENGINEER OR NJDOT AS

ADDITIONAL EASEMENTS NOT SHOWN ON THE PLANS MAY BE NECESSARY FOR THE PLACEMENT OF UTILITY STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ANY REQUIRED EASEMENT. PAULUS, SOKOLOWSKI, AND SARTOR ASSUMES NO LIABILITY FOR ANY OF THE EASEMENT INFORMATION SHOWN HEREIN. EASEMENTS SHOWN ON THESE PLANS ARE FOR SCHEMATIC PURPOSES AND MAY NOT REFLECT ALL EASEMENTS. ALL EASEMENT INFORMATION SHALL BE VERIFIED BY THE CONTRACTOR AND

- ALL EXISTING UTILITY MANHOLE RIMS, VALVE BOXES, ETC. TO BE RESET IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE TRENCH DETAILS ARE INTENDED TO PROVIDE INFORMATION REGARDING BACKFILLING MATERIALS AND GENERAL MATERIAL DEPTHS AND
- PAYMENT LIMITS ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND SHALL PROVIDE APPROPRIATE SAFETY MEASURES, SHEETING, AND BRACING AS MAY BE REQUIRED DUE TO FIELD CONDITIONS. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OSHA STANDARDS AND DETAILS FOR TRENCH EXCAVATION. THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR FIELD CONDITIONS, TRENCHING OR BACKFILLING OPERATIONS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING AND PRECLUDING ANY PONDING OF WATER IN ALL AREAS, EXCEPT AS SPECIFIED ON THE SOIL EROSION AND SEDIMENT CONTROL PERMIT DOCUMENTS (EG. SEDIMENT POND).
- 8. ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND, EXCEPT WHERE OTHERWISE NOTED. 9. UTILITIES LOCATED WITHIN ROADWAYS SHALL BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF THE ROADWAYS.
- 10. THE CONTRACTOR SHALL REQUEST UTILITY MARKOUTS AT LEAST SEVENTY-TWO (72) HOURS PRIOR TO ANY SITE DISTURBANCE. CONTRACTOR MUST NOTIFY "NEW JERSEY ONE-CALL" (800-272-1000) PRIOR TO ANY EXCAVATION OR GRADING ACTIVITY PROPOSED UTILITIES, PAVEMENT, AND STRUCTURES SHALL BE INSTALLED AFTER THE COMPLETION OF ALL REQUIRED GROUND IMPROVEMENTS DETERMINED TO BE ADEQUATE FOR THE INSTALLATION OF UTILITIES AND APPROVED BY THE RESIDENT GEOTECHNICAL
- 12. CONTRACTOR SHALL MAINTAIN AND PROTECT ALL EXISTING SURFACE AND SUBSURFACE UTILITIES DURING CONSTRUCTION OPERATION 13. GAS, ELECTRIC, TELEPHONE, WATER, AND CABLE TV LINES MAY BE DESIGNED AND INSTALLED BY THE RESPECTIVE UTILITY. THE EXACT
- LOCATION OF EACH MAIN SHALL BE COORDINATED BY THE OWNER/GENERAL CONTRACTOR AND SUBMITTED TO THE DESIGN ENGINEER FOR REVIEW PRIOR TO INSTALLATION. FINAL DESIGN OF TELEPHONE, ELECTRIC, CABLE AND GAS UTILITIES TO BE PROVIDED BY UTILITY

NJDEP CZM NOTES

- 1. EXCEPT AS PROVIDED IN I. BELOW, THE STRUCTURE REMAINS IN PLACE ONLY FROM MAY 1 THROUGH OCTOBER 31; UNDERGROUND UTILITIES. FLOOR DECKING, OPEN DRINK AND FOOD CONCESSION STAND SHELLS. AND STAGE SHELLS
- 2. ALL STRUCTURES AUTHORIZED BY GENERAL PERMIT #22 THAT ARE LOCATED ON A BEACH, EXCEPT UNDERGROUND UTILITIES, SHALL BE IMMEDIATELY REMOVED FROM THE BEACH AND RELOCATED TO A SECURE PLACE AT ANY TIME THAT THE NATIONAL WEATHER SERVICE ISUES A SEVERE WEATHER ALERT FOR THE MUNICIPALITY IN WHICH THE DEVELOPMENT IS LOCATED, FOR SIGNIFICANT WEATHER EVENTS, SUCH A COASTAL FLOOD WARNING, EXTREME WIND WARNING, HURRICANE WARNING, TORNADO WARNING OR TROPICAL STORM WARNING, THAT
- WOULD DIRECTLY AFFECT STRUCTURES LEFT ON THE BEACH. UNTIL THE SEVERE WEATHER ALERT IS LIFTED. 8. PROPOSED STRUCTURES ARE NOT LOCATED ON DUNES, COASTAL BLUFFS, OR IN WETLANDS;
- 4. PLACEMENT OF THE PROPOSED STRUCTURES DOES NOT INCLUDE THE EXCAVATION, GRADING OR FILLING OF A BEACH;
- 5. THE PROPOSED STRUCTURES SHALL HAVE NO ADVERSE IMPACTS ON SPECIAL AREAS DEFINED AT N.J.A.C. 7:7-9; 6. THE DEVELOPMENT SHALL OCCUPY A MAXIMUM OF 33 PERCENT OF THE TOTAL WIDTH OF THE BEACH BERM AREA WITHIN THE LIMITS OF THE
- PROJECT AND IS LIMITED TO THE MOST LANDWARD ONE-THIRD OF THE USEABLE BEACH BERM AREA; 7. THE TOTAL AREA OF BEACH COVERAGE, INCLUDING ALL STRUCTURES AND SUPPORT FACILITIES IS 0.43 ACRES WHICH DOES NOT EXCEED THE
- 8. THE STRUCTURES SHALL NOT UNREASONABLY CONFLICT WITH OCEAN VIEWS OR OTHER BEACH USES; 9. THE BEACH SHALL REMAIN OPEN TO THE PUBLIC;
- 10. PUBLIC ACCESS SHALL BE MAINTAINED IN ACCORDANCE WITH THE LANDS AND WATERS SUBJECT TO PUBLIC TRUST RIGHTS RULE, N.J.A.C. 7:7-9.48, AND THE PUBLIC ACCESS RULE, N.J.A.C. 7:7-16.9; AND 1. WHERE THE STRUCTURES ARE LOCATED ON A BEACH, FOR EACH YEAR OF THE DURATION OF THE PERMIT, THE PERMITTEE SHALL SUBMIT ON OR BEFORE APRIL 1ST TO THE DEPARTMENT FOR ITS REVIEW AND APPROVAL ONE COPY OF A REVISED SITE PLAN, DATED NO MORE THAT 30 DAYS PRIOR TO THE SUBMITTAL, INCLUDING SUPPLEMENTAL DOCUMENTS AS APPROPRIATE, SHOWING
 - II. COMPLIANCE WITH CZM NOTES ABOVE. BASED ON REVIEW OF THIS INFORMATION. THE DEPARTMENT MAY APPROVE THE TRUCTURES AS PROPOSED OR REQUIRE MODIFICATIONS TO THE FOOTPRINT OR DESIGN OF THE STRUCTURES TO COMPLY WITH
- 12. ALL TIMBER SUPPORT PILES PROPOSED SHALL BE A MINIMUM OF 8 INCHES IN DIAMETER.
- 13. SUPPORT PILES SHALL BE DRIVEN TO A DEPTH OF ATLEAST 10 FEET IN V ZONES AND 5 FEET IN A ZONES.
- 14. PILES SHALL BE INSTALLED WITH A PILE DRIVER OR DROP HAMMER. 15. ALL SUPPORT JOISTS AND TIMBER CONNECTIONS SHALL BE ANCHORED THROUGH THE USE OF HURRICANE CLIPS OR METAL PLATES.

16. ALL METAL FASTENERS SHALL BE HOT DIPPED GALVANIZED

I. THE LOCATION OF THE BEACH BERM AREA; AND



AERIAL KEY MAP

SOURCE: 2019 MICROSOFT CORPORATION (BING) SCALE: 1"=200'

EXISTING	<u>LEGEND</u>	PROPOSED
	PROPERTY LINE	
	CURB	
	DEPRESSED/FLUSH CURB	
4 : : 4	SIDEWALK	4
	RETAINING WALL	
	SIGN	
\$	LIGHT POLE	\Rightarrow
<u> </u>	FLOOD LIGHT	₩
X	CHAIN LINK FENCE DECORATIVE FENCE	–X——X——
	BOLLARD POST	B
20	CONTOUR MAJOR	20
20	CONTOUR MINOR	19
× 20.1	SPOT ELEVATION	× 20.10
	SANITARY SEWER	ss
S	SANITARY MANHOLE	
SCO _©	SANITARY CLEANOUT	SCO
= = =	STORM SEWER	
	STORM MANHOLE	
	INLET (YARD)	
	INLET (TYPE B)	
CO _⊚	STORM CLEANOUT	CO ●
—— W——	WATER LINE	w
<i>₩V</i> — ₩ — —	WATER VALVE	WV ⋈
	FIRE HYDRANT	lacksquare
— TEC —	TELEPHONE/ELECTRIC/CABLE	——TEC ——
— Е —	UNDERGROUND ELECTRIC	— Е —
O/H	OVERHEAD ELECTRIC	—— ОН ——
D	UTILITY POLE	
	INLET SEDIMENT FILTER	
	LIMIT OF DISTURBANCE	

ORANGE SNOW FENCE

ZONING STATISTICS SUMMARY WITHIN THE BEACH 'B' ZONE

CITY OF ATLANTIC CITY, ATLANTIC COUNTY, NJ

ITEM	REQUIRED	PROPOSED	STATUS
HEIGHT			
PRINCIPAL			
BAR ROOF	20 FT	<20 FT	COMPLIES
ACCESSORY			
STAGE	10 FT	<10 FT	COMPLIES
STORAGE	10 FT	<10 FT	COMPLIES
REST ROOMS	10 FT	<10 FT	COMPLIES
SIGNAGE	25% OF WALL AREA	<25% OF WALL AREA	COMPLIES

LIST OF DRAWINGS

DWG. NO.	DESCRIPTION	DATE	LAST REVISED
C-01	COVER SHEET & GENERAL NOTES	1/29/20	
C-02	EXISTING CONDITIONS & DEMOLITION PLAN	1/29/20	
C-03	SITE DIMENSIONS & PERMITTING PLAN	1/29/20	
C-04	CONSTRUCTION DETAILS	1/29/20	
C-05	SOIL EROSION & SEDIMENT CONTROL PLAN AND DETAILS	1/29/20	

1 inch = 200 ft**APPLICANT**

DESCRIPTION

3101 BOARDWALK NO. R-18 ATLANTIC CITY, NJ 08401

PROPERTY OWNER

CONSULTANT

ORIENTATION / KEY PLAN

CITY OF ATLANTIC CITY 1301 BACHARACH BOULEVARD ATLANTIC CITY, NJ 08401



DIMENSIONS SHALL BE AS NOTED IN WORDS OR NUMBERS ON THE CONTRACT DRAWINGS ND CLIENT. THEY ARE NOT INTENDED FOR USE ON EXTENSIONS OF THIS PROJECT OR F E COPYING AND/OR MODIFICATION OF THIS DOCUMENT OR ANY PORTION THEREOF WITH WRITTEN PERMISSION OF PAULUS, SOKOLOWSKI AND SARTOR, LLC. IS PROHIBITED.

> MARK S. CIFELLI, P.E. PROFESSIONAL ENGINEER N.J. LIC. NO. 049269

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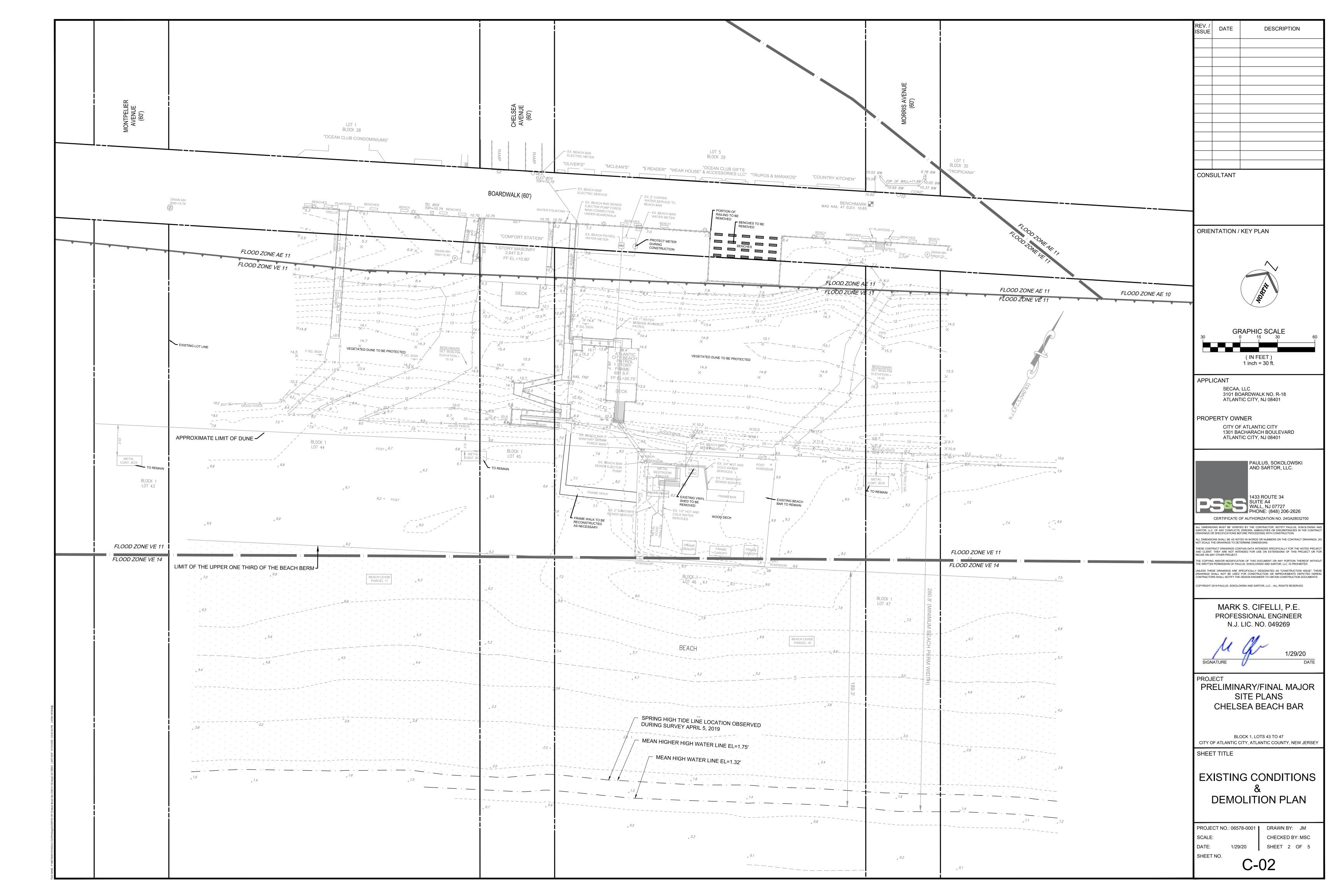
PRELIMINARY/FINAL MAJOR SITE PLANS CHELSEA BEACH BAR

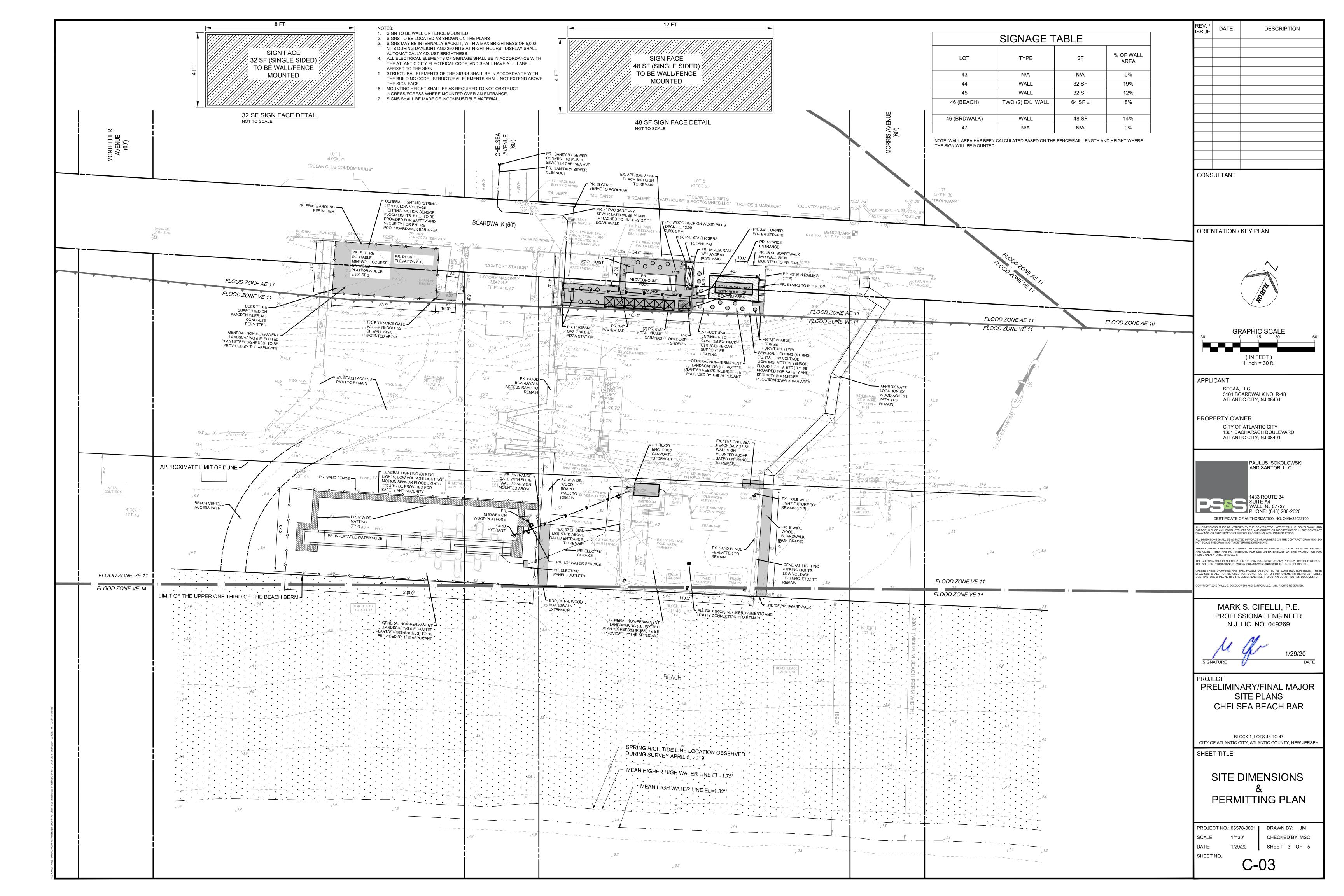
BLOCK 1, LOTS 43 TO 47 CITY OF ATLANTIC CITY, ATLANTIC COUNTY, NEW JERSEY

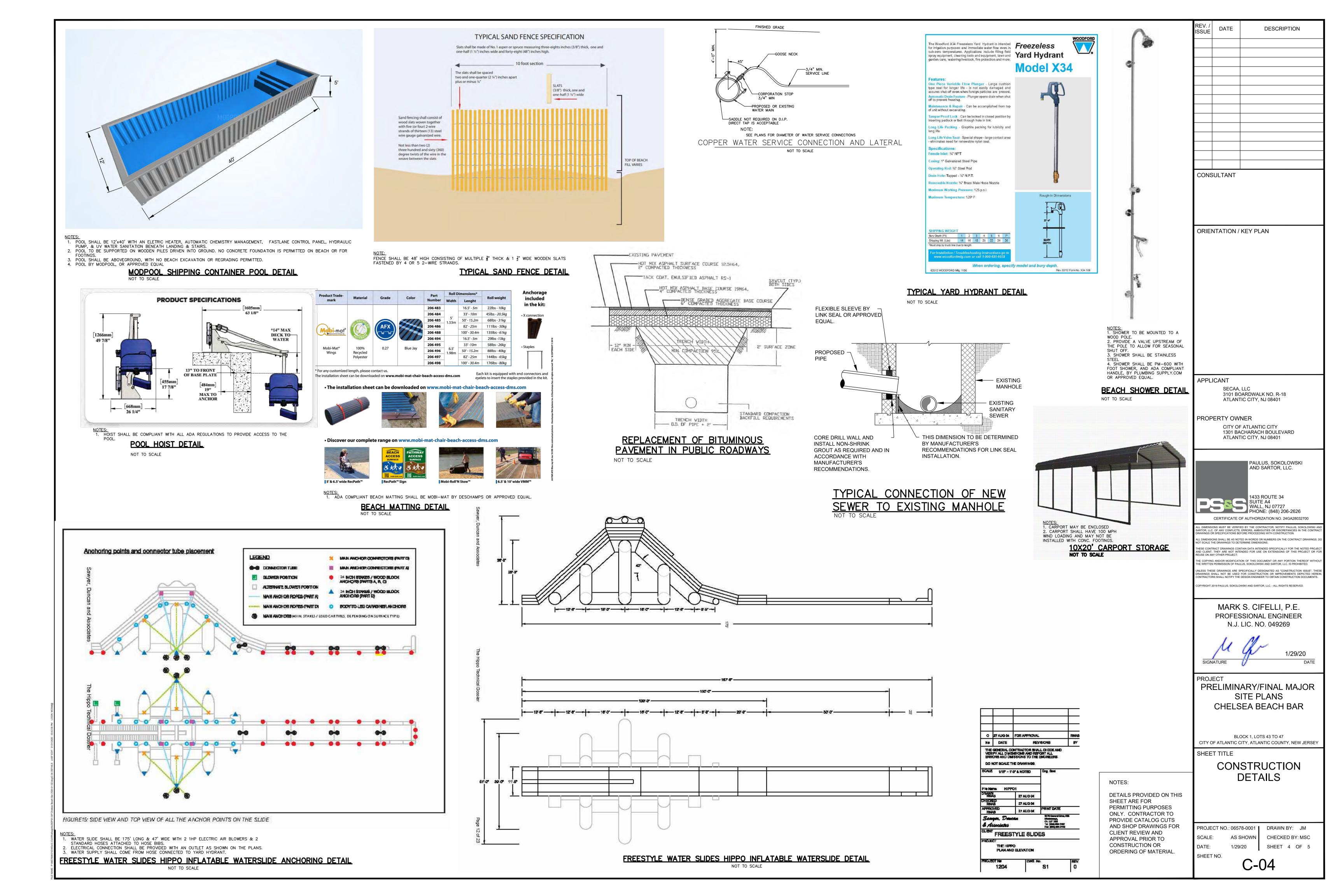
SHEET TITLE

COVER SHEET GENERAL NOTES

ROJECT NO.: 06578-0001 DRAWN BY: JM CHECKED BY: MSC AS SHOWN DATE: 1/29/20 SHEET 1 OF 5 SHEET NO.







SOIL EROSION AND SEDIMENT CONTROL NOTES

- ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATION AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
 SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE
- STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.

 3. APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS STABILIZED.
- 4. THE CONTRACTOR SHALL PERFORM ALL WORK, FURNISH ALL MATERIALS AND INSTALL ALL MEASURES REQUIRED TO REASONABLY CONTROL SOIL EROSION RESULTING FROM CONSTRUCTION OPERATIONS AND PREVENT EXCESSIVE FLOW OF SEDIMENT FROM THE CONSTRUCTION SITE.
- 5. ANY DISTURBED AREA THAT IS TO BE LEFT EXPOSED FOR MORE THAN THIRTY DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND FERTILIZATION IN ACCORDANCE WITH THE <u>NEW JERSEY</u> STANDARDS AND THEIR RATES SHOULD BE INCLUDED IN THE NARRATIVE. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE <u>NEW JERSEY STANDARDS</u> (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).
- 6. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.

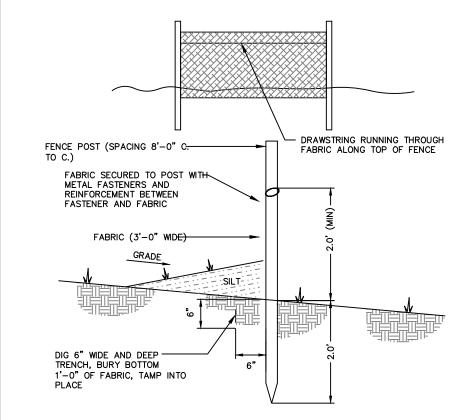
 7. ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM
- 8. A CRUSHED STONE, TIRE CLEANING PAD WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS EXISTS. THE STABILIZED PAD WILL BE INSTALLED ACCORDING TO THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS.

 9. PAVED AREAS MUST BE KEPT CLEAN AT ALL TIMES.
- 10. ALL CATCH BASIN INLETS WILL BE PROTECTED ACCORDING TO THE CERTIFIED PLAN.
- 11. ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- 12. ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA. THE SEDIMENT FILTER SHOULD BE COMPOSED OF A SUITABLE SEDIMENT FILTER FABRIC. (SEE DETAIL). THE BASIN MUST BE DEWATERED TO NORMAL POOL WITHIN 10 DAYS OF THE DESIGN STORM.
- 13. NJSA 4:24-39, ET SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE ALL PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES. ALL SITE WORK FOR THE PROJECT MUST BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE AS A PREREQUISITE TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
- 14. MULCHING IS REQUIRED ON ALL SEEDED AREAS TO INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLIER VEGETATION COVER.
- 15. OFFSITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE EROSION CONTROL INSPECTOR.
- 16. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION.17. THE CAPE ATLANTIC SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED 72 HOURS PRIOR TO ANY LAND DISTURBANCE.
- 18. ANY CONVEYANCE OF THIS PROJECT PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ANY SUBSEQUENT OWNERS.
- 19. IMMEDIATELY AFTER THE COMPLETION OF STRIPPING AND STOCKPILING OF TOPSOIL, THE STOCKPILE MUST BE STABILIZED ACCORDING TO THE STANDARD FOR TEMPORARY VEGETATIVE COVER. STABILIZE TOPSOIL STOCKPILE WITH STRAW MULCH FOR PROTECTION IF THE SEASON DOES NOT PERMIT THE APPLICATION AND ESTABLISHMENT OF TEMPORARY SEEDING. ALL SOIL STOCKPILES ARE NOT TO BE LOCATED WITHIN FIFTY (50) FEET OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY AND THE BASE MUST BE PROTECTED WITH A SEDIMENT BARRIER.
- 20. ANY CHANGES TO THE SITE PLAN WILL REQUIRE THE SUBMISSION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN TO THE CAPE ATLANTIC SOIL CONSERVATION DISTRICT. THE REVISED PLAN MUST BE IN ACCORDANCE WITH THE CURRENT NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
- 21. METHODS FOR THE MANAGEMENT OF HIGH ACID PRODUCING SOILS SHALL BE IN ACCORDANCE WITH THE STANDARDS. HIGH ACID PRODUCING SOILS ARE THOSE FOUND TO CONTAIN IRON SULFIDES OR HAVE A pH OF 4 OR LESS.
- 22. TEMPORARY AND PERMANENT SEEDING MEASURES MUST BE APPLIED ACCORDING TO THE <u>NEW JERSEY STANDARDS</u>, AND MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE <u>NEW JERSEY STANDARDS</u> (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).
- 23. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
- 24. DUST IS TO BE CONTROLLED BY AN APPROVED METHOD ACCORDING TO THE <u>NEW JERSEY STANDARDS</u> AND MAY INCLUDE WATERING WITH A SOLUTION OF CALCIUM CHLORIDE AND WATER.
- 25. ADJOINING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS ON THE PROPOSED SITE.

 26. USE STAGED CONSTRUCTION METHODS TO MINIMIZE EXPOSED SURFACES, WHERE APPLICABLE.
- 27. ALL VEGETATIVE MATERIAL SHALL BE SELECTED IN ACCORDANCE WITH AMERICAN STANDARDS FOR NURSERY STOCK OF THE AMERICAN ASSOCIATION OF THE NURSERYMAN AND IN ACCORDANCE WITH THE NEW JERSEY STANDARDS.
- 28. NATURAL VEGETATION AND SPECIES SHALL BE RETAINED WHERE SPECIFIED ON THE LANDSCAPING PLAN.29. THE SOIL EROSION INSPECTOR MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR.
- 30. A REPORT OF COMPLIANCE MUST BE OBTAINED FROM THE DISTRICT PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY FROM THE MUNICIPALITY. A REQUEST TO THE DISTRICT INSPECTION FOR THE RELEASE OF A REPORT OF COMPLIANCE MUST BE MADE 5 WORKING DAYS IN ADVANCE. THIS APPLIES TO BOTH COMPLETE (FINAL) AND CONDITIONAL (TEMPORARY) CERTIFICATES. ALL STREETS AND UNITS MUST BE PROPERLY IDENTIFIED. A REPORT OF COMPLIANCE WILL NOT BE RELEASED FOR A UNIT IF IT CAN NOT BE IDENTIFIED. IDENTIFY ALL UNITS AT TEH SITE BY BLOCK, LOT AND
- STREET ADDRESS.

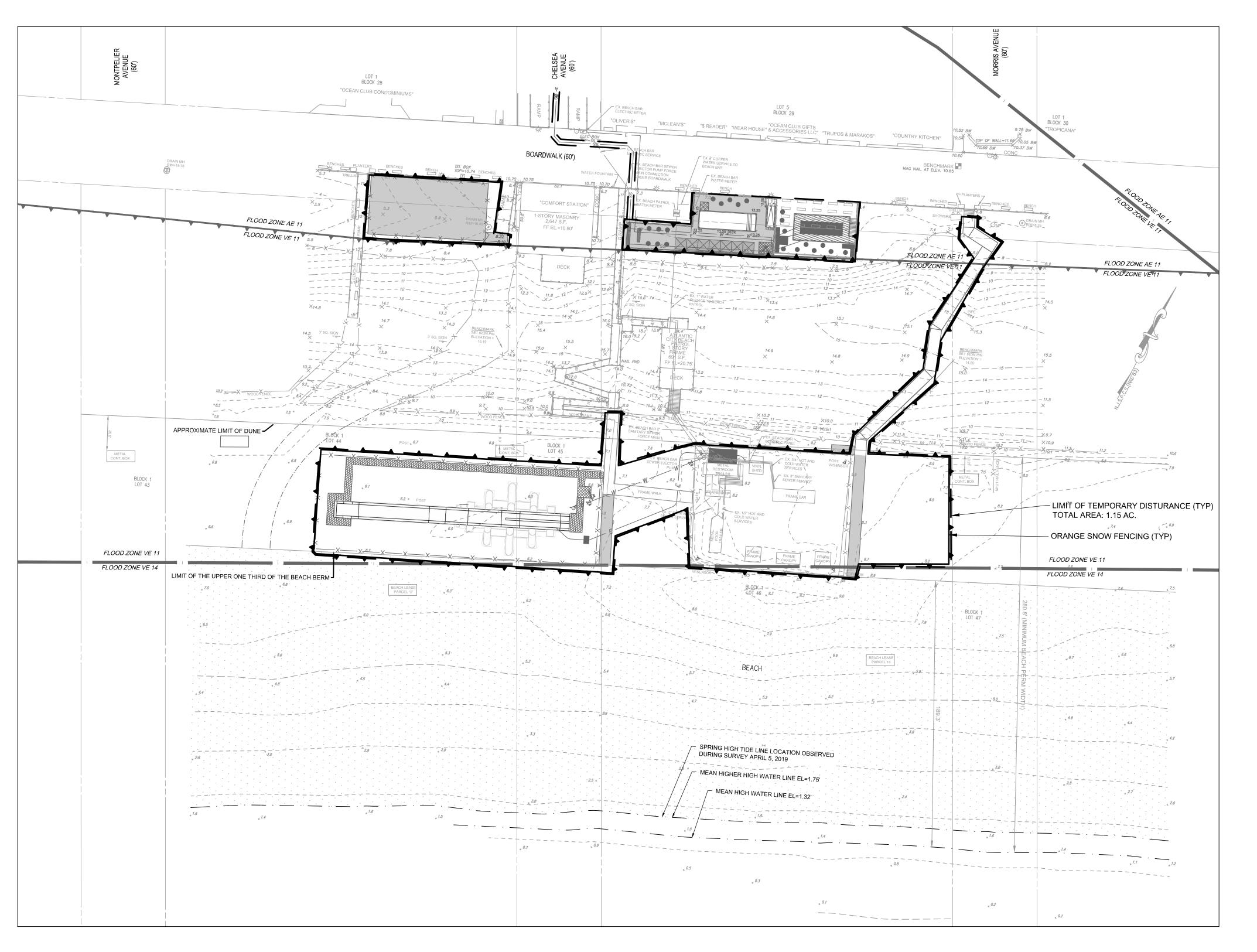
 31. REMOVE ANY SEDIMENT THAT MAY BE SPILLED, DROPPED, OR TRACKED OFF THE PROJECT SITE. ALL PAVED RIGHTOOF-WAYS ADJACENT TO THE PROJECT MUST BE MAINTAINED IN A CLEAN, SWEPT CONDITION THROUGHOUT
- CONSTRUCTION. INSTALL CRUSHED STONE PAD(S) TO HELP REDUCE OFF-SITE TRACKING OF SEDIMENT.

 32. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.



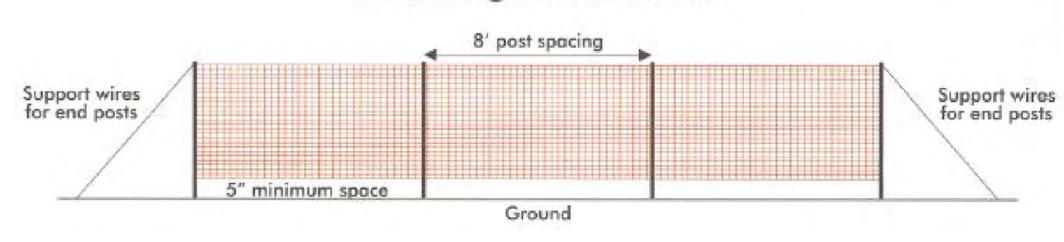
NOTE: SILT FENCE IS NOT DEPICTED ON THE PLANS. IT SHALL BE INSTALLED PER THIS DETAIL IF AND WHERE DIRECTED BY THE SOIL CONSERVATION DISTRICT.

SILT FENCE DETAIL



SOIL EROSION & SEDIMENT CONTROL PLAN SCALE: 1"=40'

Installing Snow Fence



ORANGE SNOW FENCE DETAIL

CONSULTANT
ORIENTATION / KEY PLAN
ONE NON THE PERM
*
GRAPHIC SCALE
20 0 10 20
(IN FEET) 1 inch = 20 ft.
1 inch = 20 it.
ADDITOANIT
APPLICANT SECAA, LLC
3101 BOARDWALK NO. R-18
ATLANTIC CITY, NJ 08401
PROPERTY OWNER
CITY OF ATLANTIC CITY 1301 BACHARACH BOULEVARD
ATLANTIC CITY, NJ 08401
DATILLIS CONOLOMEN
PAULUS, SOKOLOWSKI AND SARTOR, LLC.
1433 ROUTE 34
SUITE A4 WALL, NJ 07727
PHONE: (848) 206-2626
CERTIFICATE OF AUTHORIZATION NO. 24GA28032700

DESCRIPTION

MARK S. CIFELLI, P.E. PROFESSIONAL ENGINEER N.J. LIC. NO. 049269

N.J. LIC. NO. 049269

1/29/20

PROJECT
PRELIMINARY/FINAL MAJOR
SITE PLANS
CHELSEA BEACH BAR

BLOCK 1, LOTS 43 TO 47
CITY OF ATLANTIC CITY, ATLANTIC COUNTY, NEW JERSEY

SHEET TITLE

SOIL EROSION & SEDIMENT CONTROL PLAN & DETAILS

PROJECT NO.: 06578-0001

SCALE: AS SHOWN

DATE: 1/29/20

SHEET NO.

CHECKED BY: MSC SHEET 5 OF 5

C-05