



**US Army Corps
of Engineers**
Philadelphia District
1650 Arch Street
Philadelphia, PA 19103-2004
Attn: CENAP-OPR

Public Notice

Comment Period Begins: August 18, 2023
Comment Period Ends: September 18, 2023
File Number: NAP-2017-00179-45
File Name: Amboy Bank Realty, LLC- Waretown Harbor Marina
Contact: Mr. Bryan P. Bellacima, (215) 656-6732
Email: bryan.p.bellacima@usace.army.mil

This District has received an application for a Department of the Army permit pursuant to Section 10 of the Rivers and Harbors Act of 1899 (33 U.S.C. 403).

The purpose of this notice is to solicit comments and recommendations from the public concerning issuance of a Department of the Army permit for the work described below.

APPLICANT: Amboy Bank Realty, LLC.

AGENT: David Suermann
MidAtlantic Engineering LLC.
2026B Briggs Road, Suite 300
Mount Laurel, NJ 08054

LOCATION: The project is located in the waterways known as Yacht Basin Lagoon and Louise Lagoon (man-made lagoons), at 53 Pennsylvania Avenue, on the property known as block 169, lots 8.01, 12, 13, and block 191, lot 13, in Waretown Harbor, Ocean Township, Ocean County, New Jersey. Center coordinates: 39.793497°, -74.187675 °

PURPOSE: The purpose of the project is to install/construct a public marina for the mooring of 29 recreational vessels.

PROJECT DESCRIPTION:

The project involves the construction and/or installation of a public marina, known as Waretown Harbor Marina, for the purpose of mooring 29 recreational vessels, no more than 26 feet in length. The proposed marina would include installing seven, 15' X 2' fixed finger piers, a 30' X 2' fixed finger pier, an aluminum gangway leading to a 6 fingered, 130' X 8' floating dock, and 61, ten-inch piling. In addition, the upland areas of the property would be developed to include the main access road, the main marina building/office, vehicle parking, and stormwater management facilities.

Prior to the installation of the marina structures (docks, piers, piling), turbidity curtains would be placed around all proposed in-water work areas. As indicated by the applicant, a temporary floating barge would be used for staging and as a work platform, to install the in-water marina structures. In addition, the floating barge would support a vibratory

hammer to install the 61 piling. As specified, all in-water marina structures would be comprised of alternative and/or non-polluting construction materials, which include greenheart lumber and composite/plastic materials. At this time, the proposed marina would impact and/or occupy an area of approximately **0.31 +/- acres** within waters of the United States. Impacts to wetlands are not proposed due to the construction of the marina facility. Furthermore, the marina would be subject to any United States Coast Guard requirements for navigational safety associated with marina operations.

For additional project details, see the attached plans identified as: "USACE Site Plan-Marina...Waretown Harbor...", sheets 2, 4, 5, 8, and 12 of 13, dated October 24, 2013, and February 16, 2017, last revised May 10, 2023, and July 5, 2023. All plans were prepared by MidAtlantic Engineering LLC.

MITIGATION

The applicant has stated that the proposed project has been designed to avoid and minimize adverse effects/impacts on the aquatic environment to the maximum extent practicable. The project would include the use of alternative/non-polluting materials, turbidity curtains, and a vibratory hammer to construct the marina facility. Information provided in the application and on plans indicates that there will be no discharge of dredged or fill material in waters of the United States and as such, compensatory mitigation for the proposed structure(s) and/or work is not proposed.

CORPS EVALUATION FACTORS

The decision whether to issue a permit will be based on an evaluation of the activity's probable impact including its cumulative impacts on the public interest. The decision will reflect the national concern for both protection and utilization of important resources. The benefits which reasonably may be expected to accrue from the work must be balanced against its reasonably foreseeable detriments. All factors which may be relevant to the work will be considered including the cumulative effects thereof. Among these factors are conservation, economics, aesthetics, general environmental concerns, wetlands, cultural values, fish and wildlife values, flood hazards, flood plain values, land use, navigation, shore erosion and accretion, recreation, water supply and conservation, water quality, energy needs, safety, food and fiber production, mineral needs and welfare of the people.

ENDANGERED SPECIES

A preliminary review of this application indicates that species and/or their critical habitat pursuant to Section 7 of the Endangered Species Act (ESA) may be present in the action area. This office will forward this Public Notice to the U.S. Fish and Wildlife Service (USFWS) and/or National Marine Fisheries Service (NMFS) with a request for technical assistance on whether any ESA-listed species or their critical habitat may be present in the area which would be affected by the proposed activity. This office will evaluate the potential effects of the proposed actions on ESA-listed species or their

critical habitat and will consult with the USFWS and/or NMFS, as appropriate. ESA Section 7 consultation would be concluded prior to the final decision on this permit application.

CULTURAL RESOURCES AND TRIBAL TRUST

The District's Cultural Resource Specialist and Tribal Liaison has reviewed the proposed permit action for potential impacts to Historic Properties eligible for or listed on the National Register of Historic Places, and for potential issues concerning the Tribes. Based on the review of the District's Cultural Resource Specialist and Tribal Liaison, it was determined that little likelihood exists for the project to impact a historic property due to the permit area being extensively modified.

ESSENTIAL FISH HABITAT

The Magnuson-Stevens Fishery Conservation and Management Act (MSA) requires all federal agencies to consult with the NMFS for all actions, or proposed actions, permitted, funded, or undertaken by the agency that may adversely affect Essential Fish Habitat (EFH). A preliminary review of this application indicates that EFH is present within the project area. This office will evaluate the potential effects of the proposed actions on EFH and will consult with NMFS, as appropriate. Consultation would be concluded prior to the final decision on this permit application.

WATER QUALITY CERTIFICATE

The project as proposed does not involve a discharge of fill material and therefore a water quality certificate is not required.

COASTAL ZONE MANAGEMENT ACT

In accordance with Section 307(c) of the Coastal Zone Management Act of 1972, applicants for Federal Licenses or Permits to conduct an activity affecting land or water uses in a State's coastal zone must provide certification that the activity complies with the State's Coastal Zone Management (CZM) Program. The applicant has received a CZM consistency concurrence from the State for the subject project.

SUBMISSION OF COMMENTS AND PUBLIC HEARING REQUEST

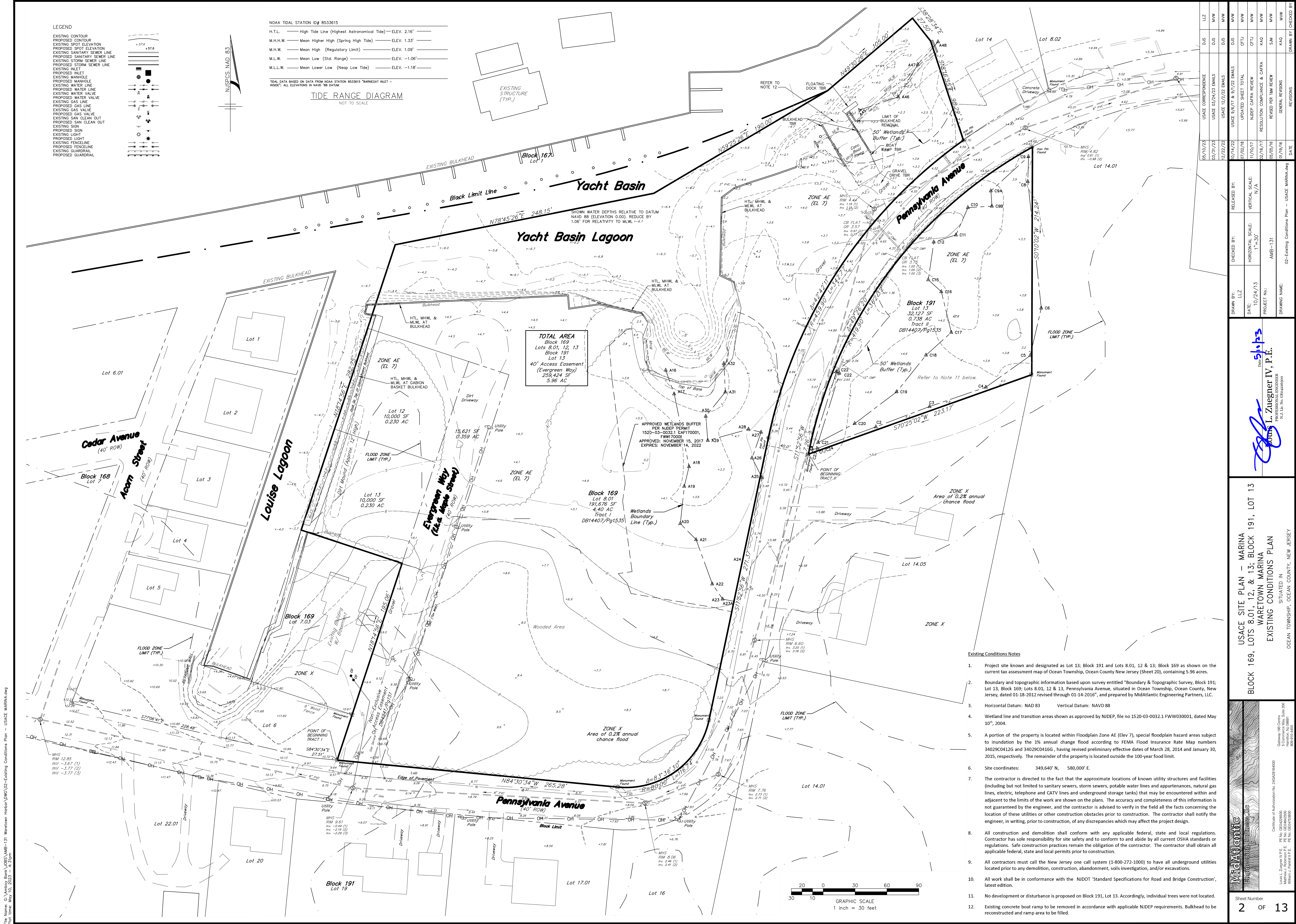
Any comments received will be considered by this office to determine whether to issue, modify, condition, or deny a permit for this proposed project. To make this decision, comments are used to assess the probable impact on the public interest. Comments are also used to determine the need for a public hearing and to determine the overall public interest of the proposed activity.

Comments on the proposed work must be submitted, in writing, within the comment period indicated in the header above. Any person may request, within the comment period specified in this notice, that a public hearing be held to consider this application. Requests for a public hearing must be in writing and state the reasons for holding a public hearing.

Please provide any comments, request for a public hearing, or requests for additional information to the Regulatory Project Manager indicated above. All Public Notices are posted on our website at:

<https://www.nap.usace.army.mil/Missions/Regulatory/Public-Notices/>

FOR: Todd A. Schaible
 Chief, Regulatory Branch



Drawn by: LLZ
Checked by: LLZ
Released by: LLZ
Date: 10/24/13
Project No.:
Drawing Name: 02-Existing Conditions Plan - USACE MARINA.dwg

USACE SITE PLAN - MARINA
BLOCK 169, LOTS 8.01, 12, & 13; BLOCK 191, LOT 13
WARETOWN MARINA
EXISTING CONDITIONS PLAN
SITUATED IN
OCEAN TOWNSHIP, OCEAN COUNTY, NEW JERSEY

MidAtlantic
Engineering Partners, LLC
1000 Morris Avenue
Suite 200
Clark, NJ 07066
(908) 444-4400
Louis L. Ziegner IV, P.E.
PE No. GE04220001
Matthew J. Reinhardt, P.E.
PE No. GE04220002
Matthew L. Ziegner IV, P.E.
PE No. GE04220003

1. Marine hours of operation comply with local ordinance requirements and are generally anticipated to be from 7:00 A.M. through 6:00 P.M.
2. Boat rentals are prohibited.
3. All boat repairs/maintenance activities shall be performed inside the building to the greatest extent practical.
4. A mobile pump out facility shall be provided (as indicated on the plans)
5. No gasoline shall be dispensed at the facility.
6. Sales of bait and tackle are allowed.
7. Deliveries (by box truck) and trash pick-up shall be during the daytime hours of operation.
8. Facility lighting shall not shine beyond the boundary of the property and shall be "point down" style.
9. Boat sales shall be by brokerage and not by retail sale.
10. Marina signage shall be pursuant to regulations and can be handled administratively provided compliance with Township ordinance.
11. Overnight RV parking is prohibited.
12. No hazardous materials shall be stored at the facility.
13. No boat rack storage is permitted.
14. Trash removal shall be by private hauler.
15. Anticipated dates for boat slip rentals are May 1st through September 30th
16. Cleaning of boats shall be performed via non-toxic power washing in accordance with local, State and Federal regulations.
17. Maximum size of permitted boats is anticipated to be 26 feet in length. Under no circumstance shall a boat be permitted whose length or dimensions exceed that of the available slip.

TIDAL DATA BASED ON DATA FROM NOAA STATION 8533615 "BARNEGAT INLET -
INSIDE"; ALL ELEVATIONS IN NAVD '88 DATUM.

NOT TO SCALE

| | | | |
|----|---|------|------|
| 1. | <u>Applicant/Owner</u> Amboy Bank Realty, LLC 3590 Route 9 Old Bridge, NJ 8857 | 1/5/ | 1/2/ |
| 2. | Project site known and designated as Lot 13; Block 191 and Lots 8.01, 12 & 13; Block 169 as shown on the current tax assessment map of Ocean Township, Ocean County New Jersey (Sheet 20), containing 5.96 acres. | | |
| 3. | Boundary and topographic information based upon survey entitled "Boundary & Topographic Survey, Block 191, Lot 13, Block 169; Lots 8.01, 12 & 13, Pennsylvania Avenue, situated in Ocean Township, Ocean County, New Jersey, dated 01-18-2012 revised through 05-05-2016", and prepared by MidAtlantic Engineering Partners, LLC. | | |
| 4. | Horizontal Datum: NAD 83 Vertical Datum: NAVD 88 | | |
| 5. | Wetland line and transition areas shown as approved by NJDEP, file no 1520-03-0032.1 FWW030001, dated May 10 th , 2004. | | |
| 6. | A portion of the property is located within Floodplain Zone AE (Elev 7), special floodplain hazard areas subject to inundation by the 1% annual change flood according to FEMA Flood Insurance Rate Map numbers 34029C0412G and 34029C0416G, having revised preliminary effective dates of March 28, 2014 and January 30, 2015, respectively. Any enclosure located below the flood elevation 7.0' will be constructed with flood openings in accordance with the Uniform Construction Code. The remainder of the property is located outside the 100-year flood limit. | | |
| 7. | Site coordinates: 349,640' N, 580,000' E. | | |

Project site known and designated as Lot 13; Block 191 and Lots 8.01, 12 & 13; Block 169 as shown on the current tax assessment map of Ocean Township, Ocean County New Jersey (Sheet 20), containing 5.96 acres.

Boundary and topographic information based upon survey entitled "Boundary & Topographic Survey, Block 191; Lot 13, Block 169; Lots 8.01, 12 & 13, Pennsylvania Avenue, situated in Ocean Township, Ocean County, New Jersey, dated 01-18-2012", and prepared by MidAtlantic Engineering Partners, LLC.

Horizontal Datum: NAD 83 Vertical Datum: NAVD 88

Wetland line and transition areas shown as approved by NJDEP, file no 1520-03-0032.1 FWW030001, dated May 10th, 2004.

All curb and sidewalks shall conform to state and federal barrier free design standards.

All proposed curbing to be concrete curb.

All connections with existing pavements & curbs shall be saw cut.

All signage to be posted in accordance with the United States Department of Transportation-Federal Highway Administration, "Manual on Uniform Traffic Control Devices for Street and Highways (MUTCD), latest edition.

All contractors must call the New Jersey One Call System (800-272-4000) in accordance with the Underground Facilities Control Act Law prior to any subsurface activity.

All work shall be in conformance with NJDOT 'Standard Specifications for Road and Bridge Construction', latest edition.

The contractor shall take appropriate precautions during the course of construction to prevent any damage or overloading on the existing bulkhead(s). Additionally wall tie-backs and tire barriers may be required along the bulkhead at the landfill operating area.

All through pipes or fittings in bulkhead shall be sealed with concrete collars, and where appropriate cut flush to the bulkhead.

All utility services along docks and piers, such as electric and fresh water, shall be installed in accordance with requirements of the Uniform Building Code, and/or as approved by the Ocean Township Construction Office.

Four parallel slips in Louise Lagoon for boat repair / short term use only. Expected size not to exceed 12' x 25'.

No boat rack storage is permitted at the marina.

Existing concrete boat ramp on Proposed Lot 8.11 is to be removed in accordance with applicable NJDEP requirements. Bulkhead to be reconstructed and ramp area to be filled.

Residential homes shall have ground cover of grass or stone yard with permeable liners to permit recharge.

Driveway for proposed Lot 8.06 shall access Pennsylvania Avenue within the linear portion of the R.O.W. Driveway shall not access the road within the curved portion of the R.O.W.

Final architectural plans and elevations to be provided to board planner for final review at time of building permit submission.

Proposed residential driveways to be uniformly graded non-compacted gravel.

Contractor shall be responsible to repair any damage to Pennsylvania Avenue during the course of construction.

Final bulkhead design plans shall be designed by a NJ Licensed Engineer and provided prior to construction during shop drawing review.

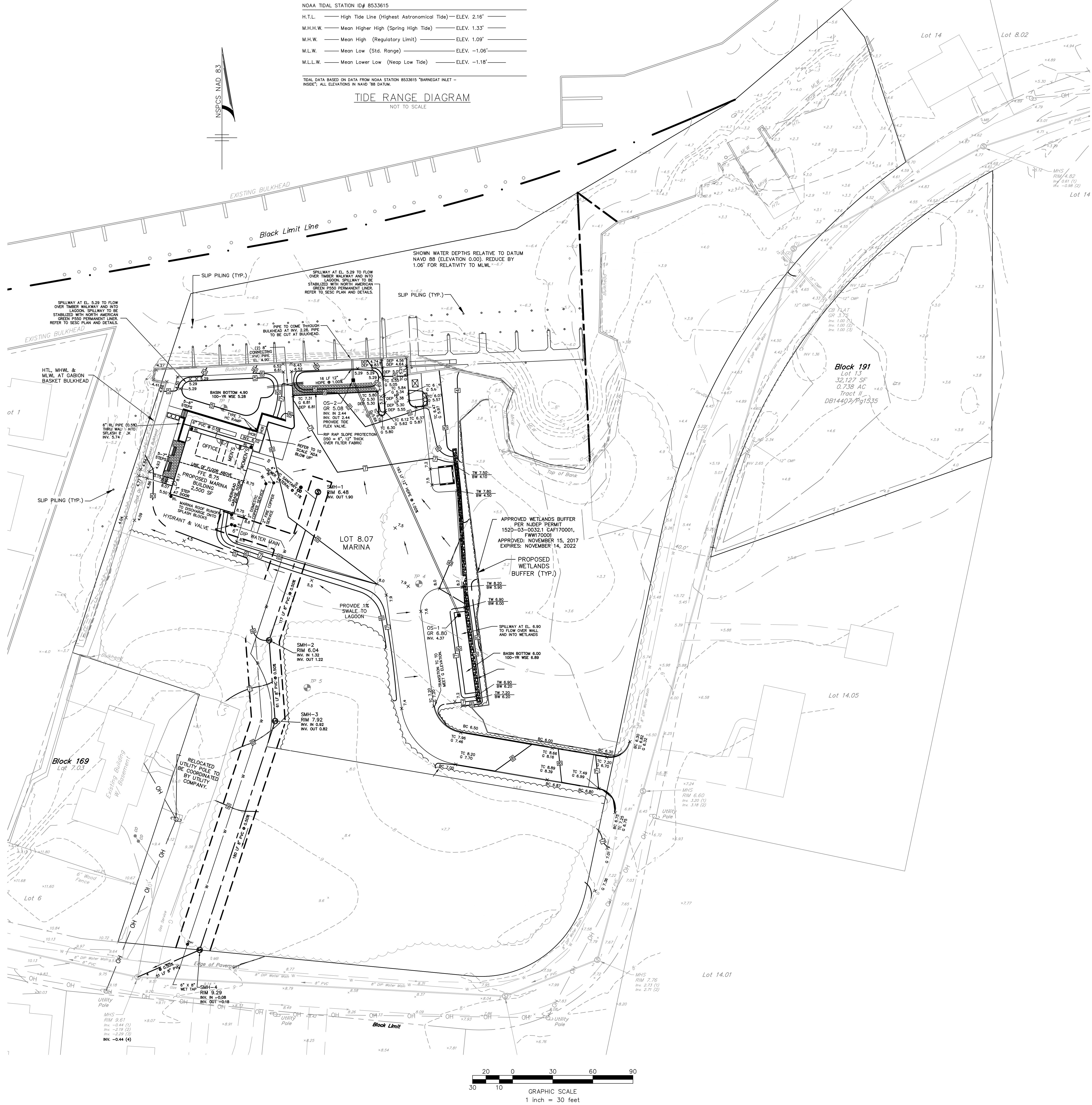
Middle Atlantic
Engineering Partners, LLC

Certificate of Authorization No. 2/C028184200

Luigi A. Zagari, V.P.E.
RE No. GD4026000
FE No. GD4026000
PE No. GD4026000
Wajid M. Pappalardo, P.E.
FE No. GD4026000
Wajid M. Pappalardo, P.E.
FE No. GD4026000

Gateway 195 Centre
5 Commerce Way, Suite 200
Harrison, NJ 08031

File Name: G:\Amboy Bank\JOBS\AMB-131 Waretown Harbor\DWG\03-Site Plan - USACE MARINA.dwg
 Date: 11/15/2007
 Time: 10:15 AM



NOAA TIDAL STATION ID# 8533615

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| H.T.L. | High Tide Line (Highest Astronomical Tide) — ELEV. 2.16' |
| M.H.H.W. | Mean Higher High (Spring High Tide) — ELEV. 1.33' |
| M.H.W. | Mean High (Regulatory Limit) — ELEV. 1.09' |
| M.L.W. | Mean Low (Std. Range) — ELEV. -1.06' |
| M.L.L.W. | Mean Lower Low (Neap Low Tide) — ELEV. -1.18' |

TIDE RANGE DIAGRAM
NOT TO SCALE

Grading & Utility Notes

- All proposed curbing to be concrete curb with 6" reveal, unless otherwise stated.
- All grading within grassed areas to be a minimum of 2% and a maximum of 3:1 slope unless otherwise noted.
- All grading in pavement areas shall be greater than 1% unless otherwise noted.
- Positive drainage to be maintained from all buildings in accordance with applicable regulations and building code.
- All grassed areas to have a minimum of 5" clean top soil, when sod is being installed, or 6" clean top soil for seeding applications.
- All contractors must call the New Jersey One Call System (800-272-4000) in accordance with the Underground Facilities Control Act Law prior to any subsurface activity.
- Contractor to perform test pits to verify existing utility depths, sizes and locations prior to connecting proposed sewer and water mains to existing sewer and water mains. The contractor shall notify the engineer in writing of any conflicts so that design modifications can be made if necessary.
- Pipe lengths indicated are measured center to center of each structure.
- The contractor shall take appropriate precautions during the course of construction to prevent any damage or overloading on the existing bulkhead(s). Additionally wall tie-backs and tire barriers may be required along the bulkhead at the forklift operating area.
- All through pipes or fittings in bulkhead shall be sealed with concrete collars, and where appropriate cut flush to the bulkhead.
- All utility services along docks and piers, such as electric and fresh water, shall be installed in accordance with requirements of the Uniform Building Code, and/or as approved by the Ocean Township Construction Office.
- During construction, existing catch basin and section of 15" CMP adjacent to Block 191, Lot 13 shall be cleaned and videoed by contractor, inspected by town engineer and replaced by contractor, if found to be damaged or inadequate.
- The location of the limit of clearing will be staked in the field and approved by the Township of Ocean prior to clearing.
- An irrigation system will be provided on the marina property (Lot 8.07). Irrigation systems for the individual single family home lots will be specified, if necessary, via future plot plans.
- Marina owner / operator is responsible for maintenance of marina stormwater management facilities. Refer to separate "Operation and Maintenance Manual," prepared by MidAtlantic Engineering Partners and dated October 11, 2016.
- During construction, sedimentation shall be limited from entering the lagoon through use of filter bags / silt sacks on water quality feature outlet structures. Refer to SESC Plan and Details.
- Storm Sewer Easements to be dedicated to the Township of Ocean. Sanitary Sewer Easements to be dedicated to the Township of Ocean Utility Department.
- No impervious surface or planting of trees/shrubs shall occur over the recharge pits/dry wells. Only stone or lawn to be provided.
- Any / all sanitary manholes within a flood hazard area / below elevation 8' shall have a watertight cover.
- Individual lot owners shall be responsible for maintenance of dry well pits.
- Sewers conveying sanitary flow, combined sanitary and stormwater flow, or industrial flow shall be separated from water mains by a distance of at least 10 feet horizontally. If such lateral separation is not possible, the pipes shall be in separate trenches with the sewer at least 18 inches below the bottom of the water main, or such other separation as approved by the Department.
 - Where appropriate separation from a water main is not possible, the sewer shall be encased in concrete, or constructed of ductile iron pipe using mechanical or slip-on joints for a distance of at least 10 feet on either side of the crossing. In addition, one full length of sewer pipe should be located so both joints will be as far from the water line as possible. Where a water main crosses under a sewer, adequate structural support for the sewer shall be provided. The Department may also require additional structural support for storm sewers crossing over sewer lines.

LEGEND

| | |
|------------------------------|--|
| EXISTING CONTOUR | |
| PROPOSED CONTOUR | |
| EXISTING SPOT ELEVATION | |
| PROPOSED SPOT ELEVATION | |
| 100-YR WATER SURFACE ELEV. | |
| EXISTING SANITARY SEWER LINE | |
| PROPOSED SANITARY SEWER LINE | |
| EXISTING STORM SEWER LINE | |
| PROPOSED STORM SEWER LINE | |
| EXISTING INLET | |
| PROPOSED INLET | |
| EXISTING MANHOLE | |
| PROPOSED MANHOLE | |
| EXISTING SANITARY MANHOLE | |
| PROPOSED SANITARY MANHOLE | |
| EXISTING SANITARY LATERAL | |
| PROPOSED SANITARY LATERAL | |
| EXISTING WATER LINE | |
| PROPOSED WATER LINE | |
| EXISTING HYDRANT | |
| PROPOSED HYDRANT | |
| EXISTING WATER METER | |
| PROPOSED WATER METER | |
| EXISTING GAS LINE | |
| PROPOSED GAS LINE | |

USACE SITE PLAN - MARINA
BLOCK 169, LOTS 8.01, 12, 13; BLOCK 191, LOT 13
WARETOWN HARBOR
GRADING & UTILITY PLAN

SITUATED IN
OCEAN TOWNSHIP, OCEAN COUNTY, NEW JERSEY

MidAtlantic
ENGINEERING PARTNERS, LLC
1000 ROUTE 138, SUITE 200
HARRISON, NJ 08033
(609) 426-1400

Certificate of Authorization No. 2452498184000
Louis L. Ziegner IV, P.E.
PE No. GE04226000
Matthew J. Robinson, P.E.
PE No. GE04226000
Matthew J. Robinson, P.E.
PE No. GE04226000

Sheet Number
5 OF 13

| | | | |
|----------|---|----------|------------|
| 06/10/23 | USACE CORRESPONDENCE | DJS | LLZ |
| 06/03/23 | USACE 03/24/23 EMAILS | DJS | MWW |
| 12/22/22 | USACE 12/22/22 EMAILS | DJS | MWW |
| 10/14/22 | USACE 9/6/21 & 9/22 EMAILS | DJS | MWW |
| 08/29/22 | SHIFT WATER MAIN ADJACENT TO SEWER MAIN PER RVE | DJS | MWW |
| 08/10/22 | RVE 6/14 REVIEW LETTER | DJS | MWW |
| 05/09/22 | RVE 3/17 REVIEW LETTER | DJS | MWW |
| 07/02/18 | RESOLUTION COMPLIANCE | CFTJ | MWW |
| 02/09/18 | CLIENT REVISIONS | CFTJ | MWW |
| 1/10/17 | NABEP CARMA REVIEW | MWW | MWW |
| 08/01/17 | OSCD REVIEW | CFTJ | MWW |
| 12/16/17 | RESOLUTION COMPLIANCE & CARMA | KAQ | MWW |
| 05/09/16 | REVISED PER TBM REVIEW | SM | MWW |
| 01/19/16 | GENERAL REVISIONS | KAQ | MWW |
| 08/14/15 | REVISED PER BUILDING FOOTPRINT | KAQ | LLZ |
| DATE | REVISIONS | DRAWN BY | CHECKED BY |

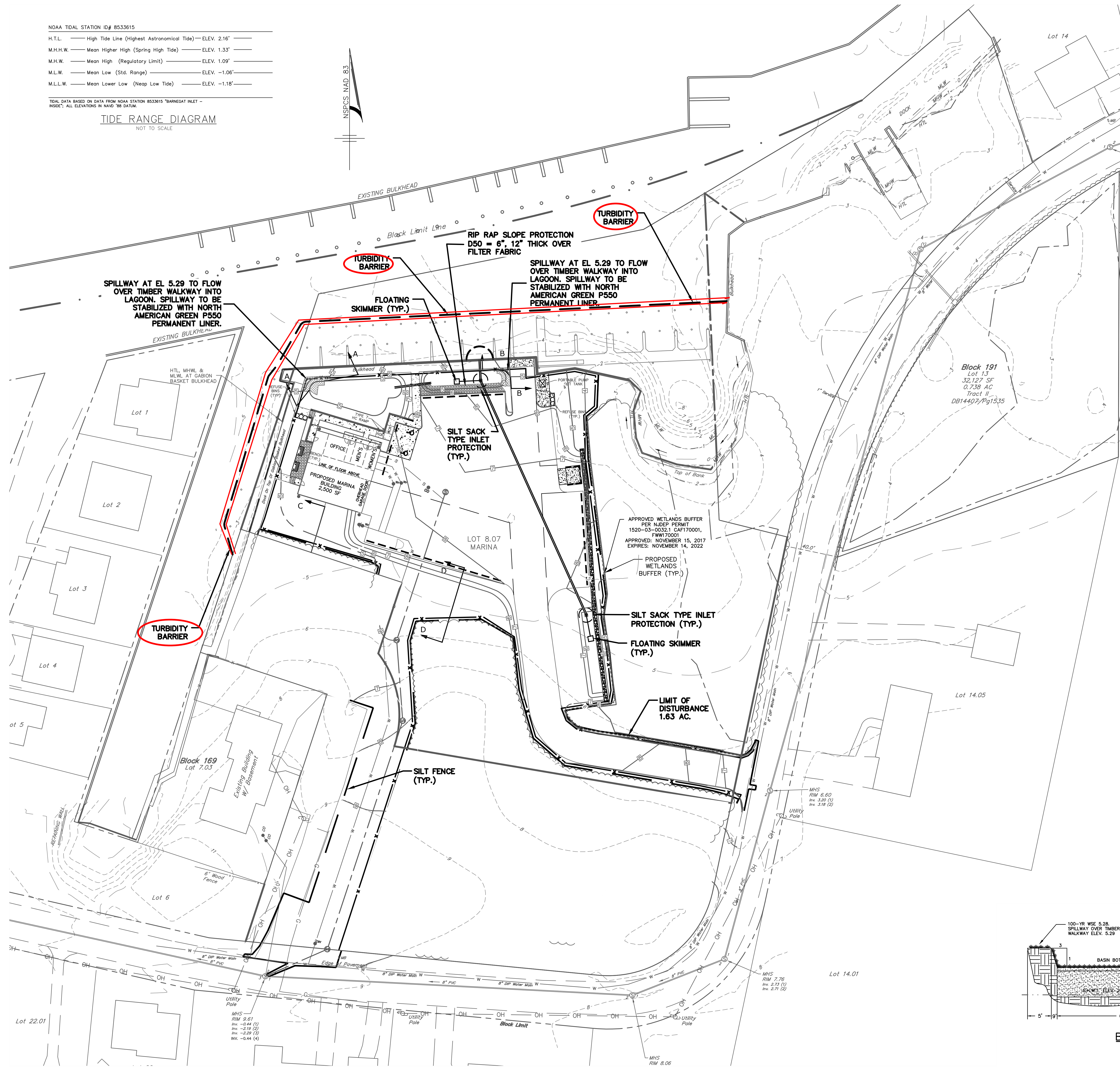
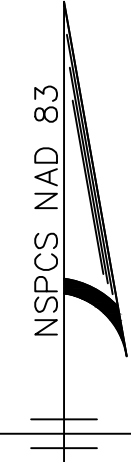
Drawn by:
Date: 8/10/23
Checked by:
Date: 8/10/23
Released by:
Date: 8/10/23
Vertical Scale: N/A
Horizontal Scale: AS SHOWN
Project No.: AMB-131
Drawing Name: 03-Site Plan - USACE MARINA.dwg

NOAA TIDAL STATION ID# 8533615
H.T.L. — High Tide Line (Highest Astronomical Tide) — ELEV. 2.16'
M.H.H.W. — Mean Higher High (Spring High Tide) — ELEV. 1.33'
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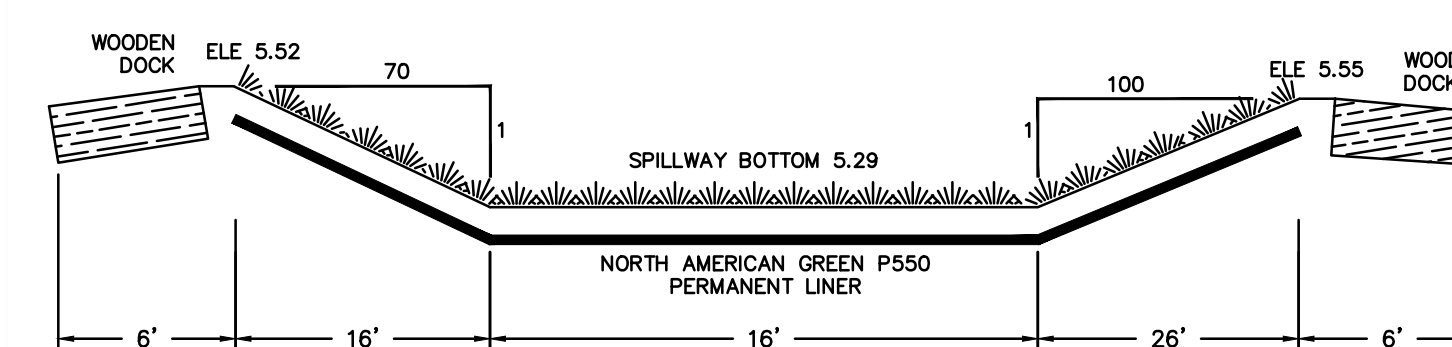
TOTAL DATA BASED ON DATA FROM NOAA STATION 8533615 "BARNEGAT INLET - INSIDE". ALL ELEVATIONS IN NAVD '88 DATUM.

TIDE RANGE DIAGRAM

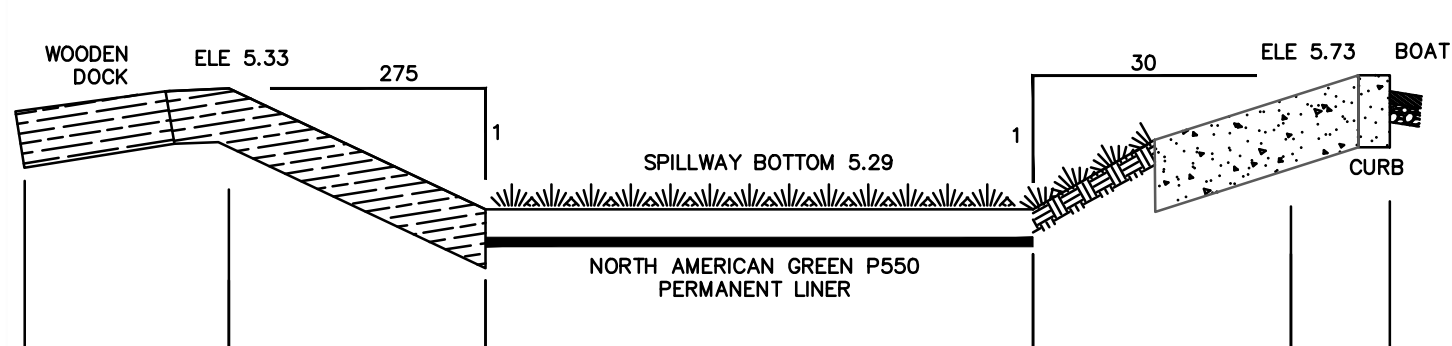
NOT TO SCALE



| LEGEND | |
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| EXISTING CONTOUR | PROPOSED CONTOUR |
| EXISTING SPOT ELEVATION | PROPOSED SPOT ELEVATION |
| EXISTING SANITARY SEWER LINE | PROPOSED SANITARY SEWER LINE |
| EXISTING STORM SEWER LINE | PROPOSED STORM SEWER LINE |
| EXISTING INLET | PROPOSED INLET |
| EXISTING MANHOLE | PROPOSED MANHOLE |
| EXISTING WATER LINE | PROPOSED WATER LINE |
| EXISTING WATER VALVE | PROPOSED WATER VALVE |
| EXISTING GAS LINE | PROPOSED GAS LINE |
| EXISTING SAN CLEAN OUT | PROPOSED SAN CLEAN OUT |
| EXISTING SIGN | PROPOSED SIGN |
| EXISTING LIGHT | PROPOSED LIGHT |
| EXISTING FENCELINE | PROPOSED FENCELINE |
| PROPOSED LIMIT OF DISTURBANCE | PROPOSED SILT FENCE |
| PROPOSED INLET PROTECTION | PROPOSED SOIL STOCKPILE AREA |
| PROPOSED TRACKING PAD | |



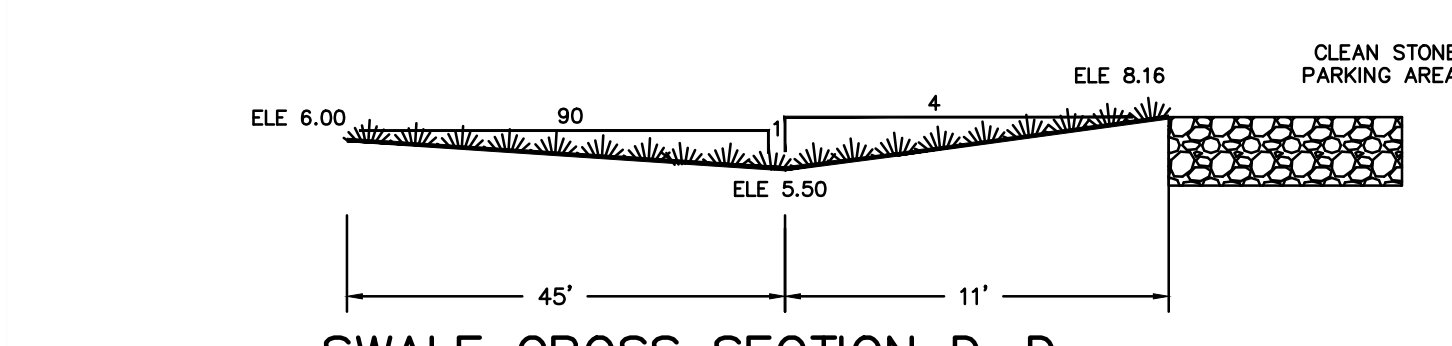
SPILLWAY CROSS SECTION A-A
NOT TO SCALE



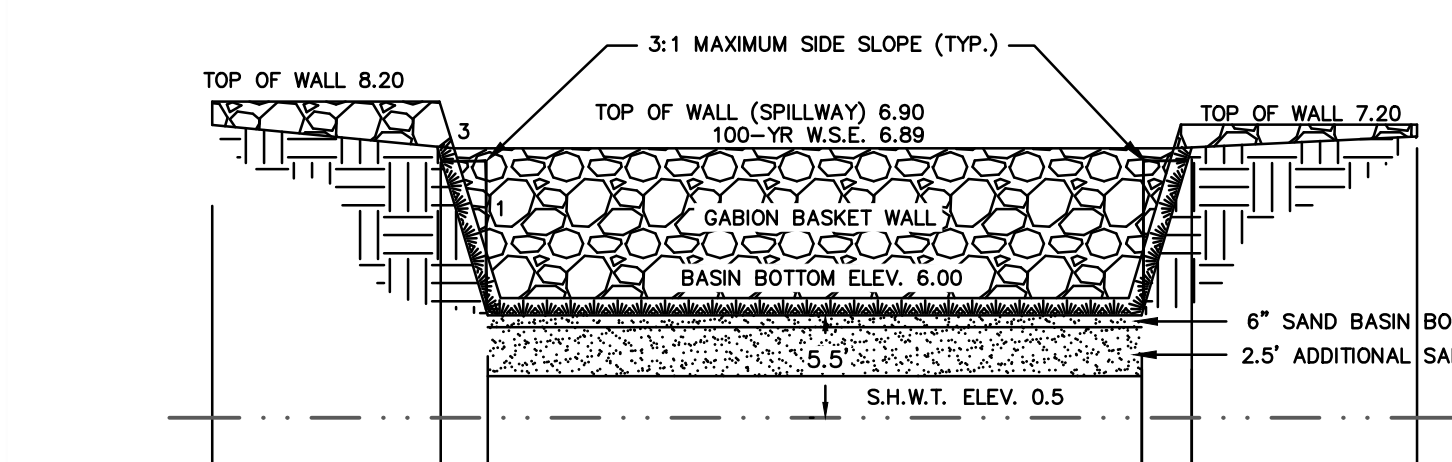
SPILLWAY CROSS SECTION B-B
NOT TO SCALE



SWALE CROSS SECTION C-C
NOT TO SCALE

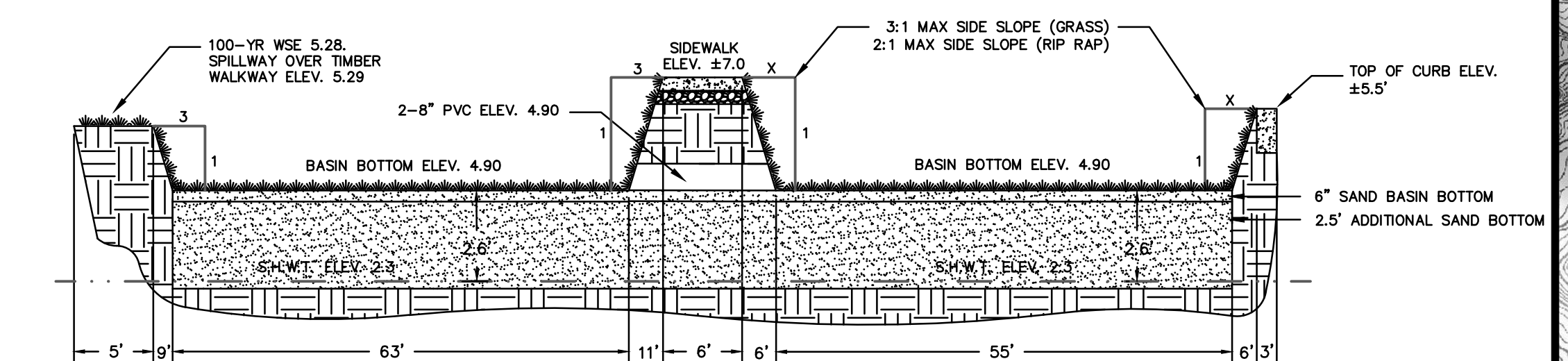


SWALE CROSS SECTION D-D
NOT TO SCALE



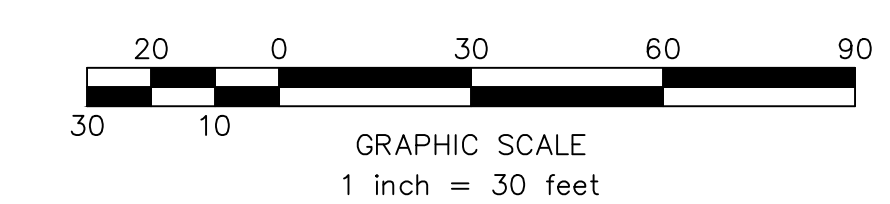
BASIN AND SPILLWAY CROSS SECTION THROUGH OS-1
NOT TO SCALE

- NOTES:
1. BASIN TO BE USED AS SEDIMENT BASIN DURING CONSTRUCTION.
 2. DO NOT INSTALL SAND BOTTOM UNTIL SITE IS STABILIZED IN ACCORDANCE WITH CONSTRUCTION SEQUENCE ON SSSC DETAIL SHEET.



BASIN CROSS SECTION THROUGH OS-2
NOT TO SCALE

- NOTES:
1. BASIN TO BE USED AS SEDIMENT BASIN DURING CONSTRUCTION.
 2. DO NOT INSTALL SAND BOTTOM UNTIL SITE IS STABILIZED IN ACCORDANCE WITH CONSTRUCTION SEQUENCE ON SSSC DETAIL SHEET.
 3. BASIN BOTTOM TO CONSIST OF 3' SAND REPLACEMENT INSTALLED FROM ON-SITE LAKEHURST SOIL.

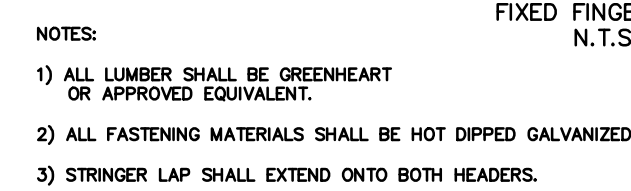
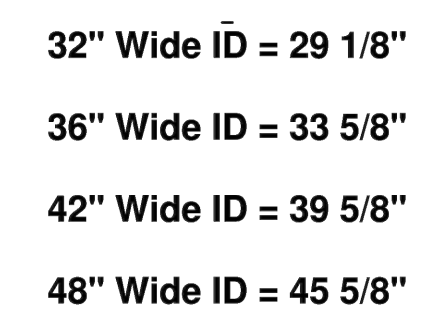
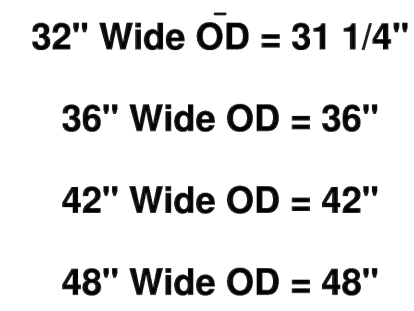
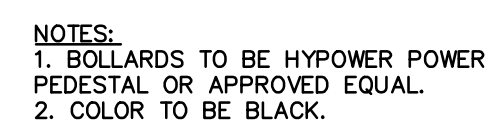
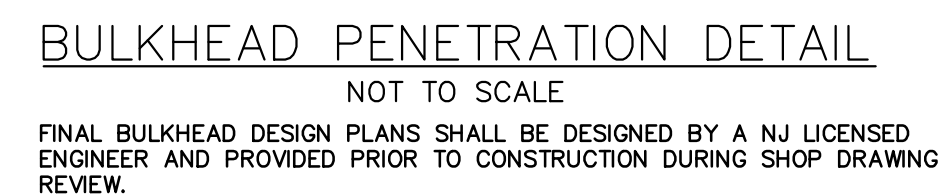


PLAN IS FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY. NOT TO BE USED FOR CONSTRUCTION.

THIS PLAN HAS BEEN PREPARED TO ADDRESS THE EROSION AND SEDIMENT CONTROL COMPONENT OF THE STORMWATER POLLUTION PREVENTION PLAN (SPP) AT THE TIME OF DESIGN. STORMWATER PERMIT TO BE THE RESPONSIBILITY OF THE OWNER AND/OR SITE CONTRACTOR.

- NOTES:
1. SITE SOILS: PsaA (Pamunkey - HYDROLOGIC SOIL GROUP 'A')
 2. EXISTING SITE IS WOODED.

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| USACE SITE PLAN - MARINA BLOCK 169, LOTS 8.01, 12, 13; BLOCK 191, LOT 13 WARETOWN HARBOR SOIL EROSION & SEDIMENT CONTROL PLAN & DETAILS SITUATED IN OCEAN TOWNSHIP, OCEAN COUNTY, NEW JERSEY | DATE: 7/5/2023 PROJECT No.: DRAWING NAME: 03-Site Plan - USACE MARINA.dwg | RELEASED BY: LLZ CHECKED BY: LLZ DATE: 10/24/13 PROJECT No.: DRAWING NAME: 03-Site Plan - USACE MARINA.dwg | REVISIONS DATE BY REASON |
| Louis L. Ziegner IV, P.E. P.E. No. 000000000 NJ Lic. No. 000000000 | | | REVISIONS DATE BY REASON |
| MidAtlantic ENGINEERING & DESIGN, INC. 10000 Old York Road Suite 200 Harrisburg, PA 17110 Tel: 717-634-1000 Fax: 717-634-1001 www.midatlanticeng.com | | | REVISIONS DATE BY REASON |
| Sheet Number 8 OF 13 | | | REVISIONS DATE BY REASON |

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